

**THE BONNEVILLE HOTEL RENOVATION  
IDAHO FALLS REDEVELOPMENT AGENCY**



**Prepared By:**

**The Housing Company**

**Myers Anderson Architects, PLLC**

**Bateman Hall General Contractors**

**Submitted April 15, 2016**

April 14, 2016

Mr. Brad Cramer, Director  
Community Development Services  
680 Park Avenue  
Idaho Falls, ID 83402

RE: Idaho Falls Redevelopment Agency, Request for Proposals for the Bonneville Hotel, 635 Park Avenue and 410 Constitution Way

Dear Mr. Cramer,

It is with great pleasure that our team submits this Proposal for the acquisition and renovation of the Bonneville Hotel. Our goal is to transform the current property into an award winning mixed income, mixed use property for downtown Idaho Falls. The Housing Company, Myers Anderson Architects and Bateman Hall would compose the primary team responsible for the adaptive reuse of the Bonneville Hotel.

A non-profit based in Boise, Idaho The Housing Company (THC) would be the developer in charge of securing the financing, providing ongoing construction oversight and post construction property management. THC was the developer responsible for the successful renovation of the Whitman Hotel in Pocatello, Idaho. This adaptive reuse project created 25 affordable studio and one-bedroom housing units in the core of Old Town Pocatello. Our approach would be to use Low Income Housing Tax Credits (LIHTC), in addition to Historic Tax Credits, HOME funds and Community Development Block Grant funds for the renovation costs. THC has utilized all of these funding sources on previous projects, and is considered one of the States experts on the use of tax credits and tax credit applications.

Myers Anderson Architects have been in business for over 40 years. Based in Pocatello, Jerry Myers has been engaged in historic property renovations and reuse as an architect as well as donating his time as Chair of Idaho Heritage Trust. Mr. Myers has extensive hands-on experience applying his knowledge of historic renovations following the Secretary of the Interior's complicated set of rules and guidelines. Mr. Myers was the architect of record for the Whitman Hotel renovation, and has his offices on the first floor of the Whitman. In addition, Mr. Myers has successfully assisted in the planning and design for the conversion of old downtown hotels and iconic buildings into housing in Evanston, Rock Springs, Laramie and Green River, Wyoming.

Bateman-Hall General Contractors round out the team for the adaptive reuse of the Bonneville Hotel. In any project with the complexities that the Bonneville Hotel will have, the team demands a strong and locally active general contractor. Bateman Hall knows the area and how to work with the local subcontractors to assemble a construction team that has experience in the Idaho Falls downtown core. They know who to call to work on the brick façade to ensure the repairs and modifications will be seamless and permanent. Their rapport with the Idaho Falls building officials will ensure excellent communication which in turn will result in the project coming in on time and within budget.

Refer Tab A for our preliminary redesign for the Bonneville Hotel.

## Team Experience

THC is a qualified 501(c)(3) non-profit that has been working to provide quality housing to Idahoans since 1990. During this time THC has partnered with small towns and large cities to help address the need for a variety of housing choices for their constituents. Over the past several years THC has worked with communities to build for sale single family homes in Nez Perce. Currently, THC is finalizing the construction of Phase II of The Springs in McCall. This project is a partnership with Valley County who donated the land for THC to build 72 units of affordable housing. This project was the first all electric multifamily project in Idaho to receive a Platinum LEED Certification. In addition, Phase I was awarded the Best Residential Project of the Year in 2011 from Idaho Smart Growth Alliance.

The Whitman Hotel in Pocatello was a labor of love for those involved. Literally saved one day before the wrecking ball was to arrive, the Whitman stands as testimony to what can be achieved when a dedicated team of professionals come together with a dream. This project was undertaken by the City of Pocatello, THC and several for-profit individuals. As viewed by the city this project had one primary goal, to bring housing into the old historic downtown to assist wider revitalization efforts. The building's transformation has been incredible. The exterior was completely restored as were the original building signs. Main floor is commercial space, and is the headquarters of Myers Anderson Architects. You can still sit in the original wooden phone booth in the lobby.

With 25 studio and one-bedroom apartments the Whitman caters to people who want to live close to where they work. One of our first tenants was a veteran who worked downtown but did not have a car, his goal was to find a decent rental downtown so he could walk to work.

In 2010, the Whitman Hotel was given the PRAIS Program Innovation – Community Revitalization Award by PNRC-NAHRO. Multiple funding sources were required to make this project viable, and since its completion occupancy has consistently been in the mid to high 90% range.

A major component of the financing structure will be the securing of LIHTC's in order to make the project viable. Applying for LIHTC's is time consuming and very competitive. A significant amount of work and financial analysis is required prior to any submission. During the application process the development team will be putting together a construction team with the skills to commence any work activity as soon as is reasonable. THC believes strongly in hiring as many local subcontractors as possible when it stages projects of this size and scale. We also believe in securing the majority of our construction related materials and components locally to create economic benefit to the larger Idaho Falls community.

Led by Principal Architect Jerry Myers, Myers Anderson has completed a large number of historic building assessments and renovations throughout southeast Idaho and western and southern Wyoming. Myers Anderson has held a continuous indefinite delivery contract with the Wyoming Business Council/Wyoming Main Street and the Alliance for Historic Wyoming since 2009 – and has performed nearly 30 historic building assessments - of which many have led to successful renovation/rehabilitation projects. Presently, Myers Anderson is working with the City of Rawlins (Wyoming) and Rawlins Main Street on an extensive historic district façade renovation project which includes 38 separate buildings and has a budget of \$1.6 million dollars.

Mr. Myers has undertaken several redevelopment projects that closely resemble the RFQ requirements for downtown mixed use undertakings. The Tomahawk Hotel in Green River, Wyoming is located in the old downtown core of Green River. The first floor includes 5 separate commercial/retail lease spaces.

These flex spaces can be offices as well or converted to most any use an interested party would like. The upper floors were designed as residential rentals with studio, 1 and 2 bedroom units.

The Hotel Evanston in Evanston, Wyoming is another old downtown hotel that has sat vacant for many years. Mr. Myers has done extensive analysis to bring this property into a viable mixed use project. With first floor tenant spaces, all the upper floors would be available for residential rental apartments.

Jerry Myers also has strong personal experience with historic building renovations; he is part owner of three contributing buildings (the Seavers Building, Walton Curl Building, and Whitman Building) in a local and national historic district in downtown Pocatello. All three of these buildings underwent significant renovations and were certified tax act projects. Mr. Myers has personally served on numerous Boards at local, state and national levels, including Commissioner for the City of Pocatello Historic Preservation Commission (past Chair), Trustee (current Chair) for Idaho Heritage Trust, and Advisor Emeritus – Board of Advisors for the National Trust for Historic Preservation (past Western Region Chair). His personal and professional historic preservation experience is unmatched in the region.

Richard Creason and Jerry Myers have worked with numerous communities in southern Idaho and western and southern Wyoming in the repurposing of important buildings within their communities, reinvesting in the prior investment made, in the development of historic buildings, which were built with a commitment to the community socially and economically.

Jerry has been in the Bonneville Hotel Building, reviewing the building for development with others. It is a great building, with good bones. It is an iconic building in Idaho Falls and is a great prospect for redevelopment bringing it back to its previous status as an important contributing building in the downtown landscape.

Based out of Idaho Falls, Idaho, Bateman-Hall, Inc. has been in the construction business for over 40 years. Working in the Idaho Falls area the Bateman-Hall team has developed a diverse network of sub-contractors to assist in the wide range of construction projects undertaken by them. Projects include an array of mid to large scale commercial construction developments with values up to \$36,000,000. Given the size and scope of renovation being considered at the Bonneville, Bateman-Hall has the experience and crews ready to go at any time.

Bateman-Hall has done some exciting renovation work in old town Idaho Falls. They were selected to undertake the renovations of the MCS Advertising building. This property located on B Street had been remodeled in the 1970's with a two story exterior "modernization" effort that obscured the second floor windows and roof line entablature. Working with the owners who wanted to bring this building back into the historic character of the neighborhood, attention to detail was paramount. During the interior and exterior renovations, Bateman-Hall was able to retain the original second floor windows.

Sustainability is another business component of the Bateman-Hall organization. Leadership in Energy Efficiency and Design (LEED) is a nationally recognized design and build set of guidelines that allow renovations to garner the most energy efficient product at the end of the day. When designing any rental property it only makes sense to create an apartment that will have the latest design elements that will provide the lowest heating and cooling costs for the residents.

Refer to Tab B for individual and company resumes for the primary team members.

## Similar Projects

As a team, THC, Myers Anderson and Bateman-Hall have extensive experience in developing historic building in older downtowns. Below is a list of those projects either undertaken and completed, or planned for renovations and conversion. Refer to Tab C for the drawings, sketches and associated photos.

The Whitman Hotel	Pocatello	Mixed use	25 units
Emerson Housing Dev	Pocatello	Residential	12 units
Eagles Building	Pocatello	Mixed use	5 units
First Security Bank Building	Rock Springs, WY	Mixed use	8 units
Hotel Evanston	Evanston, WY	Apartments/Hotel	12 units
Tomahawk Hotel	Green River, WY	Mixed Use	15 units
Rainbow Teton Center	Rawlins, WY	Retail/Office	
MCS Advertising	Idaho Falls	Commercial	

## Preliminary Design

Both Myers Anderson and THC have looked at the Bonneville Hotel in the past as a possible candidate for conversion into affordable housing. We have collectively spent a great deal of time and research to determine a residential layout that would maximize the efficiency of the existing floor templates, and affect a renovation that will be cost effective.

Our preliminary plan would keep the street level floor plan as all commercial and retail. THC would need to create existing space on the first floor for its management office and some additional tenant space for laundry and common space. This THC space would be less than 1500 square feet leaving roughly 10,000 square feet for new commercial and retail space.

On floors two through five the typical residential floor layout would include 1 studio, 6 one-bedroom and 1 two-bedroom units for a total of 4 studios, 24 one-bedroom units and 4 two-bedroom units in the renovated building. Sizes would be approximately 520 square feet for the studios, 600 to 625 square feet for the one-bedroom units and 850 square feet for the two-bedroom units.

With 10,000 square feet of space the options for retail and commercial are numerous. The commercial grade kitchen could be updated for a chain or an individually owner restaurant. There would still be space available for a coffee shop, dry cleaners, dentist office or similar uses.

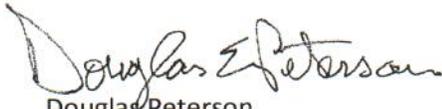
Finally, the team of THC, Myers Anderson, and Bateman-Hall believe we are uniquely qualified to undertake a renovation/adaptive reuse of the Bonneville Hotel. Our track record of securing tax credit financing is second to none in Idaho. Our architect has been designing and managing multiple historic renovations in several states. He owns, works in and lives in historic properties in Pocatello. And our

contractor has unmatched experience and qualifications for their projects in the Idaho Falls market. From very large to smaller commercial endeavors their ability to bring projects in on time and on budget is well respected in Idaho Falls.

Our team is available to meet with you at your convenience. The team contact list can be found in Tab D for your convenience.

Thank you for the opportunity to submit our proposal for this important project. We look forward to hearing from you.

Sincerely,



Douglas Peterson  
The Housing Company



Jerry T. Myers, AIA, NCARB  
Myers Anderson Architects

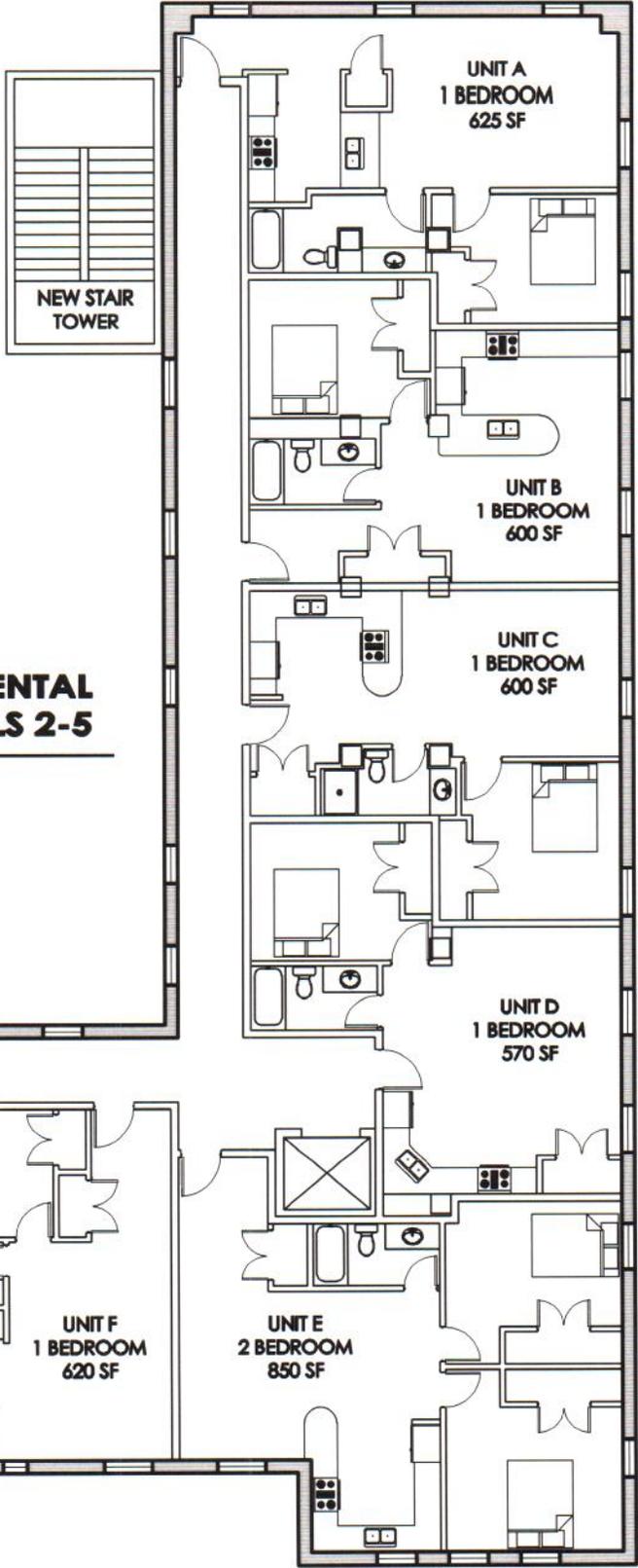


Mike Clements  
Bateman-Hall

**TAB A. Bonneville Hotel Preliminary Design**

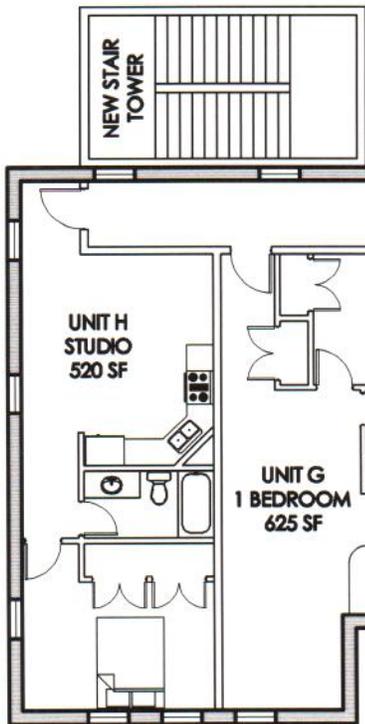
**BUILDING AREA:**

MAIN LEVEL COMMERCIAL	11,265 GSF
LEVELS 2-5 RESIDENTIAL	28,034 GSF
4 STUDIO UNITS	520 SF EACH
24 ONE BR UNITS	600 - 625 SF EACH
4 TWO BR UNITS	850 SF EACH
32 TOTAL UNITS	



**FLOOR PLAN -  
TYPICAL RESIDENTIAL  
LAYOUT - LEVELS 2-5**

NOT TO SCALE



**BONNEVILLE APARTMENTS  
IDAHO FALLS, IDAHO  
CONCEPT PLAN 03/18/10**

**Myers ■ Anderson**

- Architecture
- Interior Design
- Landscape Architecture

101 North Main Street • Pocatello, Idaho 83204 • Tel. (208) 232-3741 • Fax (208) 232-3782

**TAB B. Team Member and Firm Information and Resumes**

# What The Housing Company does

## New Development

The Housing Company facilitates the development of new housing in underserved areas. We have expertise in all stages of development — from assessing the need for affordable housing in a community and conceptualizing a project to accessing available funding and overseeing construction. Our experienced staff can direct an entire project from start to finish.

We have used Low-Income Housing Tax Credits, HOME funds, and a variety of other financing tools to develop nearly 800 units in more than 15 affordable rental communities.

## Management

The Housing Company provides professional property management services for about 30 affordable apartment communities for low-income families, seniors, and the disabled. We help our residents achieve individual and family goals and we help foster community pride.

## Preservation

The Housing Company's affordable housing preservation efforts ensure that there are adequate units available for recipients of Section 8 project-based assistance and housing choice vouchers.

## Award-winning green practices

The Housing Company is one of only 17 organizations in the country and the only one in the Northwest to achieve full Sustainable



**Sustainable  
Performance  
Institute**



Performance Institute-HUD Green Organizational Accreditation. One of our award-winning properties, The Springs, is LEED Platinum certified.

## New Developments

Housing Development	Units	Community	Type	Funding Resources
Maple Grove Apartments	30	Coeur d'Alene	Family	Tax Credit
Hillside Village Apartments	50	Moscow	Family	Tax Credit
Diamond Court Apartments	96	Chubbuck*	Family	Tax Credit/HOME
Carriage Lane Apartments	78	Twin Falls	Family	Tax Credit/HOME
Fox Creek Place Apartments	56	Driggs*	Family	Tax Credit/HOME
Oak Street Apartments	40	Sandpoint	Family	Tax Credit/HOME
Chaparral Meadows Apartments	52	Blackfoot*	Family	Tax Credit/HOME
Rose Park Place Apartments	40	Blackfoot	Senior	Tax Credit/HOME
Seltice Place Apartments	20	Post Falls	Family	Tax Credit/Affordable Housing Program (AHP)
Cedar View Apartments	32	Pocatello*	Family	Tax Credit/HOME/AHP
Camas Village Apartments	66	Moscow*	Family	Tax Credit/Community Development Block Grant (CDBG)
The Springs Apartments I & II	72	McCall	Family	Tax Credit Assistance Program (TCAP), Tax Credit Exchange
The Whitman	25	Pocatello	Family	Historic Housing Credits/Pocatello Development Authority Funding
Nampa Duplexes	6	Nampa	Family	Neighborhood Stabilization Program funds
Field Stream Apartments	60	Twin Falls	Family	Tax Credit/HOME
Moon Valley Apartments	37	Star*	Family	Tax Credit

\* These projects were the first Low-Income Housing Tax Credit and/or HOME projects in these cities.





Briarwood, Blackfoot

## Existing Developments/Preservation

Apartment	Units	Community	Type
Briarwood	40	Blackfoot	Family Apartments
Bristlecone	30	Sandpoint	Family Apartments
Lake Country	44	Coeur d'Alene	Family Apartments
Meadowview	20	Rigby	Family Apartments
Owyhee Place	32	Boise	Family Apartments
Pondside	24	St. Anthony	Family Apartments
Riverwood Manor	24	Priest River	Family Apartments
South Meadow	41	Twin Falls	Family Apartments
Village Gardens	9	Ashton	Family Apartments
Harrison Hills	36	Boise	Senior Apartments
Hazel Park	40	Caldwell	Senior Apartments
Parkview	32	Weiser	Senior Apartments
Village Community	50	Rexburg	Senior Garden Apartments
The Cottage	1	Coeur d'Alene	Family Home
Twin Falls Gardens	42	Twin Falls	Family Apartments



South Meadow, Twin Falls



Harrison Hills, Boise



## Professional expertise

### Meet The Housing Company team



#### **Douglas Peterson, Director**

Douglas joined The Housing Company in 2007 and has more than 30 years of experience in the affordable housing industry. He has developed a variety of affordable housing products in Idaho's rural and urban areas — from historic adaptive re-use buildings to the state's first all-electric LEED Platinum apartment complex. His projects are nationally recognized and have won the Idaho Smart Growth's Residential Project of the Year. He spent 10 years as a project manager and underwriter for the Office of Housing Development in Arlington County, Virginia, where he helped create more than 1,800 affordable units and leveraged more than \$320 million in private funds. As executive director of The Arlington Partnership for Affordable Housing, he grew the organization's portfolio by 800 percent and developed the first mixed-income high-rise apartment in Arlington to earn LEED certification.



#### **Kathryn Almberg, Housing Development Officer**

Kathryn has been in charge of real estate development for The Housing Company since 2005. She oversees all aspects of development — from acquisitions and due diligence, financing, resource and grant applications, to project-team hiring, coordination and construction. Before joining the The Housing Company she worked for Idaho Housing and Finance Association for three years in the Tax Credit Department. She has more than 20 years of experience in real estate development in Idaho, California and Nevada, building properties that ranged from apartments to business parks, office buildings and big box stores. She has bachelor's degree in finance from the College of Idaho and several professional certifications.



#### **Jennifer Rogers, Asset Operations Manager**

Jennifer has overseen the property management operations and compliance for The Housing Company since 2008. She manages everything from the physical assets to the day-to-day operations of more than 1,000 units with an operating budget of more than \$4.3 million a year. She was a housing compliance officer for Idaho Housing and Finance Association from 2002 to 2008. She has a Master of Business Administration from Boise State University and a bachelor's degree in economics from Ripon College. She serves on the board for the Idaho Affordable Housing Management Association and is president of the Idaho Returned Peace Corps Volunteers.

## ■ History

Founded in 1976, Myers Anderson Architects, PLLC, is a full service Architectural firm. We have continually expanded in the general practice of architecture by providing consistent, progressive and quality services to our clients. We are proud of our reputation and success in the design and construction of educational, governmental, recreational, and institutional buildings. Myers Anderson's projects have ranged from multi-million dollar new and renovation projects to small remodeling projects, from U.S. Armed Services and Corps of Engineers projects to residential designs. The high number of repeat clients attests to the quality of the services we provide and our demonstrated commitment to their projects.

## ■ Location

Our Idaho office is housed in the Historic Whitman Hotel building in Old Town Pocatello. Built in 1905, our building is a premier restoration and was a certified tax act project. The use and maintenance of this valuable community resource symbolizes our firm's commitment to the communities in which we work.



Our Wyoming office is located in the Evanston, Wyoming Downtown Business District. We opened this office in early 2010. Myers Anderson brings a diverse expertise which heretofore has not been available previously in south western Wyoming.

## ■ Firm Size and Personnel



The principals of our firm are Jerry T. Myers, AIA and Richard Creason, AIA. A staff of professional, technical, and clerical personnel rounds out the Myers Anderson Team. We have always maintained an experienced, well-rounded staff and have conservatively hired support staff as necessary when our workload has required it. Our current staff strength is 11. Myers Anderson's personnel consists of three architects, one project manager, one interior designer, three CAD designer/draft persons, and three administrative / clerical persons. Our expertise includes skilled Planning, Interior Design, Graphic Arts, and the general practice of Architecture. With a multi-disciplinary staff, we have completed projects ranging from initial feasibility and planning studies and small remodeling projects to the design and construction of multi-million dollar facilities. The

diversity of our work has helped us to be creative and flexible in our approach to the design of our projects while adhering strictly to our clients needs.

Myers Anderson Architects is a firm small enough to provide personal service and commitment yet with sufficient experience, expertise and horsepower to get projects done in a timely manner without compromising the thoughtful and thorough assessment of the client's needs.

## ■ Resources

Our firm uses the latest technology associated with the practice of Architecture. The combination of our experience and this technology enables us to provide precise and accurate construction documents in an expedient manner.

All construction drawings, cost estimates, studies, and specifications are produced electronically. Our current in-house computer capabilities are eleven CAD stations, and three word processing/accounting stations running Microsoft Office, Photo Shop, SketchUp, AutoCad, and Arc View (GIS).

Myers Anderson's greatest resource is its people. The principals of the firm strive to maintain a team of well-qualified individuals who are professional and committed to the goals and ideals of the firm and to our clients and their success.

## ■ Awards

Myers Anderson Architects received the Administrators Award of Excellence from the U.S. Small Business Administration in recognition of “outstanding contributions and service to the nation by a small business...”

Most recently, Myers Anderson Architects has been recognized by Mountain States Construction Magazine, published in Idaho, Wyoming, Utah and Colorado, for our design efforts on the Evanston Roundhouse & Railyard Section One project. The project was awarded the Best of 09 Renovation/Restoration Merit Award.

The firm has received several Idaho Power Design of Excellence Awards and Renovation of the Year Awards from Old Town Pocatello.

### Idaho Power

#### Design of Excellence Awards:

- Chubbuck Fire Station, Chubbuck
- Park Price Motor Company, Pocatello
- City Hall, Police and Fire Station, Buhl
- South 5<sup>th</sup> Street Taco Bell Restaurant, Pocatello

### Idaho Preservation Orchid Awards:

- Distinguished Preservationist: Jerry Myers, AIA
- Wilson Theater Renovation
- Brady Chapel Remodel
- Whitman Hotel Mixed-use Development
- Gasser House Renovation
- Chief Theater Sign Renovation

### Old Town Pocatello

#### Renovation of the Year:

- Chief Theater Restoration
- Old Town Pocatello Office Building
- Bull & Bear Restaurant Building
- Eagles Building Renovation
- Pocatello High School Renovation
- Seavers Block Building
- Walton Curl Building
- Citizen’s Community Bank Corporate Offices
- Whitman Hotel Renovation

## ■ Design

Myers Anderson enjoys a reputation for a progressive, yet practical approach to our client’s projects. Our primary goal is to provide a thoroughly thought out design; so that our projects will function well, be easily maintained, aesthetically pleasing, and built at the most reasonable cost. Creativity and imagination are what brings successful projects within reasonable budgets.

For a more comprehensive overview of our firm, our staff, and our work, please visit our website at [www.myers-anderson.com](http://www.myers-anderson.com).

## JERRY T. MYERS, AIA, NCARB

Principal Architect, Myers Anderson Architects, PLLC



### Education

Bachelor of Architecture, Idaho State University - 1979

### Experience

Practicing Architecture - 35 years

Mr. Myers has been a principal of Myers Anderson Architects since 1985. Prior to becoming a principal in MAA, he worked with numerous Architectural and Engineering firms. This exposure has provided a well rounded understanding of Architectural and Engineering principles. Through this broad experience and through a wide variety of projects Mr. Myers has developed a keen ability to “see the big picture” and is able to coordinate teams of individuals in an effort to best serve our clients and their projects. This experience has created a strong sense of design, attention to details and client satisfaction.

### Registration

Idaho, Oregon, Montana, Wyoming, Utah, North Dakota, South Dakota, NCARB Certified

### Specific Related Experience

As a traditionally educated Architect, Mr. Myers worked for a time in Downtown Portland Oregon in the 80’s when Pioneer Square and Michael Graves City Building were key elements in the “Downtown Renovation”. He experienced the culture of a vibrant Downtown and the essence of historic preservation and developed an appreciation for the architecture of our past as it relates to the current and future socio – economic vibrancy of our communities. Mr. Myers has personally served on numerous Boards at local, state and national levels. Professionally Mr. Myers has consulted and provided traditional architectural and historic preservation services in numerous communities in Idaho and Wyoming. These services include Preservation Education, building conditions and needs assessments, planning studies and full architectural renovation and restoration projects which involved numerous funding sources, including historic tax credits.

Mr. Myers' involvement with Community planning groups or boards:

- Member, Bannock County/City of Pocatello Comprehensive Planning Task Force
- Director Emeritus, Old Town Pocatello Board of Directors (past Chair)
- Commissioner, Historic Preservation Commission, City of Pocatello (past Chair)
- Trustee, Idaho Heritage Trust
- Advisor Emeritus, Board of Advisors, National Trust for Historic Preservation (past Western Region Chair)
- ADA Advisory/Appeals Committee, City of Pocatello
- Rotarian, Gate City Rotary (Past President)

### Historic Preservation Project Experience

- Rainbow Teton Entrepreneur Center, Rawlins, Wyoming
- Swan Valley Forest Service District Ranger Station, Swan Valley , Idaho
- Broadway “Rock” Theater, Rock Springs, Wyoming
- Historic Depot Feasibility Study, Green River
- Evanston Cultural Center “The Strand Theater”, Evanston, Wyoming
- Ferguson Building Assessment, Rawlins, Wyoming
- Wyoming Frontier Prison Assessment, Rawlins, Wyoming
- Numerous Building Assessments through an indefinite delivery with the Wyoming State Historic Preservation Office and Wyoming Main Street
- Wilson Theater Renovation, Rupert, Idaho
- Pocatello High School Renovation Units I and II, Pocatello, Idaho
- Evanston Railyards Master Plan, (Machine Shop, Roundhouse, Visitor’s Center, Power House) Evanston, Wyoming
- Whitman Hotel Multi-Use Development, Pocatello, Idaho
- Eagles Building, Pocatello, Idaho
- Daniel Community Center, Daniel, Wyoming



**Education**

Bachelor of Architecture, University of Idaho - 2008  
Minor in Business, University of Idaho - 2008  
Masters in Architecture, University of Idaho, Idaho Urban Research & Design Center - 2009

**Experience**

Principal Architect, Myers Anderson Architects – 2016 - Present  
Associate Architect, Myers Anderson Architects – 2014-2015  
Staff Architect, Myers Anderson Architects - 2011 - 2013  
Intern Architect, Myers Anderson Architects - 2009 - 2011  
Intern Architect, Glancey Rockwell & Associates - 2008, 2009  
Part-time Intern, Myers Anderson Architects - 2007, 2008

**Registration** Idaho, Wyoming, NCARB

**Specific Related Experience**

Strong interest in urban design created by a background of studying in Rome and Boise at the Idaho Urban research and Design Center.

Interested in sustainable/ environmental design, modern architecture, clean lines, and simplicity. Richard's project background includes a large variety from single and multi family residential to commercial and industrial.

Richard is proficient in the following areas:

- Schematic design/ graphic design/ presentation boards
- Design development
- Construction Documentation
- Code research
- Specifications and materials research
- Document checking and coordination

**Related Project Experience**

- Rock Theater Renovation, Rock Springs, Wyoming
- Wilson Theater Auditorium, Rupert, Idaho
- Historic Old Town Pocatello Incorporated: Union Pacific Avenue Hand Renderings
- Drift Inn, Bed and Breakfast, Rupert, Idaho
- "Old Jail" Building Assessment, Kemmerer, Wyoming
- JC Penney Building Assessment, Kemmerer, Wyoming
- Tomahawk Hotel Renovation, Green River, Wyoming
- New Fire Station, Minidoka County Fire Protection District, Rupert, Idaho
- Bannock County Fire Station, Downey Fire District, Downey, Idaho
- Preston Readiness Center Renovation, Preston, Idaho
- Emmett Readiness Center Renovation, Emmett, Idaho
- Rexburg Readiness Center Renovation, Rexburg, Idaho
- Edgemoade Armory Renovations, Mountain Home, Idaho
- Lewiston Readiness Center Renovation, Lewiston, Idaho
- New Facility, Intermountain Gas Company, Twin Falls, Idaho
- Review of Bonneville Elementary for The Academy, Inc., Pocatello, Idaho
- Lincoln-Uinta Child Development Center Addition, Mountain View, Wyoming
- First Security Bank Building Assessment, Rock Springs, Wyoming
- Juniper Hills Country Club Master Plan, Phase One, Pocatello, Idaho
- Campus Recreation Center Addition to Reed Gymnasium, Pocatello, Idaho
- South Central Public Health District, Heyburn, Idaho
- AnderSons, Inc., Twin Falls, Idaho



## History

Bateman-Hall, Inc. was incorporated in the State of Idaho in 1975 by E. W. Bateman and Kim Hall. Dan Moon joined the company when Bateman left the firm at the decade's end. In 2008 Kim and Dan turned the management over to long-time employees Shay Moon, Mike Clements and Aaron Johnson.

Since our company's beginnings, Bateman-Hall's philosophy has been to listen to the needs of the client and meet those needs while providing a superior finished product. Bateman-Hall has successfully grown by making the satisfaction of the owner our top priority.

We operate debt free; have substantial financial reserves; and carry worker's compensation, general liability and auto insurance. We have never had to file for Bankruptcy. The Hartwell Company in Idaho Falls handles all of our bonding and insurance and never has it, or any other surety, had to finish a project or pay a claim for us nor have they ever denied a request for a bond.

Our accounting department's key individuals have been in place for over 20 years. We do not have other business ventures to detract from our financial resources. Our working capital is 100% in cash and not encumbered in any way.

Our lack of large overhead allows us to be more flexible and competitive with our services and fees. We are large enough to handle any project and have the resources to bring your project in on time and on budget.

## Our Team

For over forty years, Bateman-Hall has developed its business through a commitment to teamwork. We believe the strength of the team is dependent on the strength of the individuals that comprise that team. These principles have enabled us to recruit and retain highly qualified and experienced individuals as members of our team.

Our estimating team is intimately familiar with the always changing costs in the industry and can help "value engineer" your project to meet your budget.

Our project managers devote individual attention to the details of each project and work to avoid obstacles in order to remain within original budget projections.

Bateman-Hall's full-time superintendents are assigned to focus on an individual project, taking it from conception to reality. These superintendents have the necessary skills and experience to see your project completed within budget.

Our home office and administrative employees provide support from start to finish and beyond.

## PHILOSOPHY OF SERVICE

Bateman-Hall's philosophy of service is built on:

- A solid team
- An organized structure
- Technical knowledge, skill, experience, and efficiency
- Dedication to providing a quality project
- Safety consciousness
- Resolution to do it right the first time
- Professionalism
- Dedication to providing a quality project

**Education**

- Idaho Falls School District 91 Construction Manager; Idaho Falls, ID
- Emerson High School Remodel; Idaho Falls, ID - \$10.9M
- Theresa Bunker Site Improvements; Idaho Falls, ID - \$.27 M
- Skyline High School Remodel; Idaho Falls, ID - \$1.9 M
- Longfellow Elementary School; Idaho Falls, ID - \$11M
- Ethel Boyes Elementary; Idaho Falls, ID - \$11.2M
- Edgemont Elementary; Idaho Falls, ID - \$11.2 M
- Dora Erickson Elementary; Idaho Falls, ID - \$11.2 M
- Idaho Falls High School Remodel; Idaho Falls, ID - \$.72M
- Rigby High School; Rigby, ID - \$36M
- Ririe Middle School Addition & Remodel; Ririe, ID - \$6.4M
- South Fork Elementary School; Rigby, ID - \$10.3M
- Buhl High School; Buhl, ID - \$8.9M

**Municipal**

- Madison County Library Addition; Rexburg, ID - \$2.4M
- Melaleuca Baseball Stadium; Idaho Falls, ID - \$5.5M

**Government**

- Bonneville Law Enforcement Building; Ammon, ID-Current
- Spaceport America Aircraft Rescue Fire Fighting Maintenance Facility; Sierra County, NM - \$2.8M
- US Forest Service Airbase; Salmon, ID - \$2.4M
- Dept. of Commerce and Labor; Idaho Falls, ID - \$1.7M

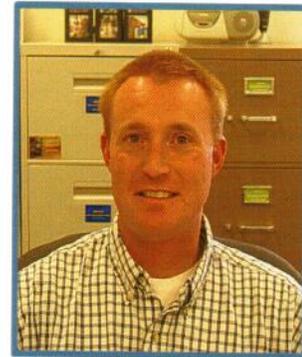
**Commercial**

- Smith's #207 Marketplace; Saratoga Spring, UT-Current
- Smith's #271 Marketplace; Springville, UT-Current
- Mountain America Credit Union; Twin Falls, ID - \$1.2M
- Mountain America Credit Union; Ammon, ID - \$1.1M
- Walgreen's #15973; Idaho Falls, ID - \$2.2 M
- Lowe's; Lehi, UT - \$5.3M
- Lowe's; Pocatello, ID - \$6.3M

**Private**

- Teton Honda; Pocatello, ID – Current
- Smith's Chevrolet & Honda; Idaho Falls, ID - \$13.4M
- Bank of Commerce; Blackfoot, ID - \$0.9M
- Snake River Landing Building R; Idaho Falls, ID -\$4.3M

**Mike Clements,**  
**Chief Executive Officer**



Education

**Idaho State University**  
 1987 to 1993

**Boise State University**  
 Fall 1989

Registrations/Licenses

Idaho CM License – CM5279

Work Experience

**Bateman-Hall, Inc.**  
 Idaho Falls, ID  
 March 2015 to Present  
 Position: Chief Executive Officer

March 2008 to March 2015  
 Position: Chief Operating Officer

March 2005 to 2008  
 Position: Vice President

Oct. 1998 to March 2005  
 Position: Project Manager

**Ugaki and Associates, Inc.**  
 March 1994 to Oct. 1998  
 Idaho Falls, ID  
 Position: Project Manager/ Safety Director

**MK-Ferguson of Idaho**  
 Jan. 1991 to March 1994  
 Idaho Falls, ID  
 Position: Construction Supervisor



**Education**

- Idaho Falls School District 91
- BYU-Idaho
- Ririe School District #252
- Jefferson School District #251
- Buhl School District #412

**Developers**

- Ball Ventures
- Boyer Company
- Hawkin's Companies, LLC

**Government**

- New Mexico Spaceport Authority
- State of Idaho
- USDA

**Commercial**

- Hobby Lobby
- Advance Auto Parts
- Albertson's
- Associated Food Stores
- Les Schwab Tires
- Smith's Food & Drug
- Walgreens
- Walmart Stores, Inc.

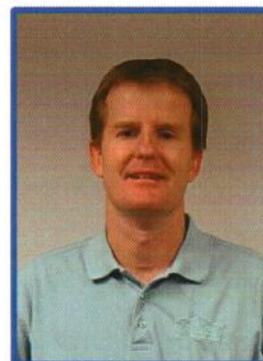
**Private**

- Cives Steel Fabrication
- Melaleuca, Inc.
- American Fabrication
- The Bank of Commerce
- Broulim's Supermarkets
- D&A Commercial Warehousing
- Doug Andrus Distributing
- Frazier Industrial Company
- GPOD of Idaho
- Idaho Packaging
- The Smith Group

**Associations**

- Finance Chairman, Greater Idaho Falls Chamber of Commerce
- Rotary Member
- Past Board Member to the Idaho AGC

**Aaron Johnson,  
 Chief Financial Officer**



Education

**Utah State University** 1990  
 Bachelors of Science  
 Accounting/Computer Science  
**Ricks College** 1986  
 Associates Degree  
 Arts and Science

Work Experience

**Bateman-Hall, Inc.**  
 2008 to Present  
 Idaho Falls, ID  
 Position: Chief Financial Officer

1996 to 2008  
 Position: Controller

**Rush Auto Parts, Inc.**  
 1991 to 1996  
 Idaho Falls, ID  
 Position: Controller

**Federal Deposit Insurance Corp. & Farm Credit Administration**  
 1990-1991  
 Sacramento, CA  
 Position: Examiner

**Wolford Auto Body, Inc.**  
 1989 to 1990  
 Logan, UT  
 Position: Controller



**Education**

- Rigby High School; Rigby, ID - \$36M
- Ririe Middle School Addition & Remodel; Ririe, ID - \$6.4M
- South Fork Elementary School; Rigby, ID - \$10.3M
- Samuel H. Bennion Student Union Facility; Idaho Falls, ID - \$6.6M
- Mark Austin Addition & Remodel/BYU- Idaho; Rexburg, ID - \$2.6 M

**Municipal**

- Madison County Library Addition; Rexburg, ID - \$2.4M
- Melaleuca Baseball Stadium; Idaho Falls, ID - \$5.5M

**Multi-Unit Housing**

- BYU-Idaho Student Married Housing; Rexburg, ID -- \$10M

**Government**

- Spaceport America Aircraft Rescue Fire Fighting Maintenance Facility; Sierra County, NM - \$2.8M
- Department of Commerce and Labor; Idaho Falls, ID - \$1.7M

**Commercial**

- WalMart #3897 Fueling Station; Twin Falls, ID -- \$1.4M
- WalMart #5628 Supercenter; Monroe, WA -- \$11.4M
- Albertson's #171 Remodel; Rexburg, ID - \$1M
- Smith's #172 Remodel; Kalispell, MT - \$808k
- Sam's Club Expansion #6345-02; Idaho Falls, ID - \$4.6M
- WalMart #5342 Supercenter; Yuma, AZ - \$9.5M
- Chuck-A-Rama Buffet; Idaho Falls, ID - \$1.2M
- WalMart #5189 Supercenter; Phoenix, AZ - \$7.1M

**Private**

- Broulim's Fresh Market; Ammon, ID -- \$5.3M
- Idaho Packaging Building #1; Idaho Falls, ID -- \$5.8M
- Broulim's Expansion; Shelley, ID -- \$2.5M
- Melaleuca Corporate Office; Idaho Falls, ID -- \$64M
- Physical Therapy Clinic; Idaho Falls, ID -- \$0.58M
- Cives Steel Fabricating Plant; Ucon, ID -- \$6.2M
- Broulim's Expansion; Rexburg, ID -- \$3.4M
- Broulim's Expansion; Rigby, ID -- \$2.7M
- Frazier Industrial Building; Idaho Falls, Idaho -- \$4.4M

**Shay Moon,  
 President**



**Education**

**Idaho State University**  
 1992-1993

**Ririe High School**  
 1992

**Work Experience**

**Bateman-Hall, Inc.**  
 2008 to Present  
 Position: President

2002 to 2008  
 Position: Vice President

1999 to 2007  
 Position: Project Manager

1997 to 1998  
 Position: Estimator

1995 to 1997  
 Position: Superintendent/  
 Assistant Superintendent

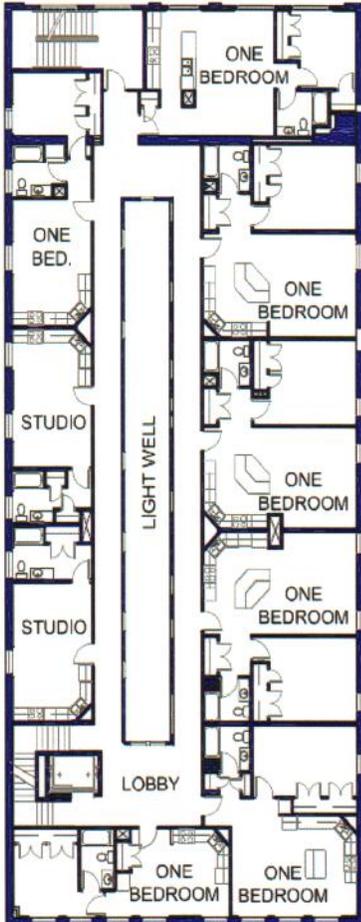
1989 to 1995  
 Position: Laborer



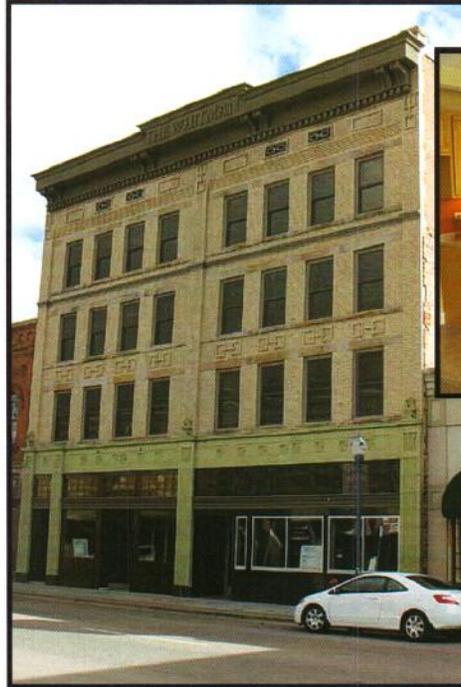
**TAB C. Examples of Work**

## ■ Whitman Hotel Multi-Use Development

Pocatello, Idaho



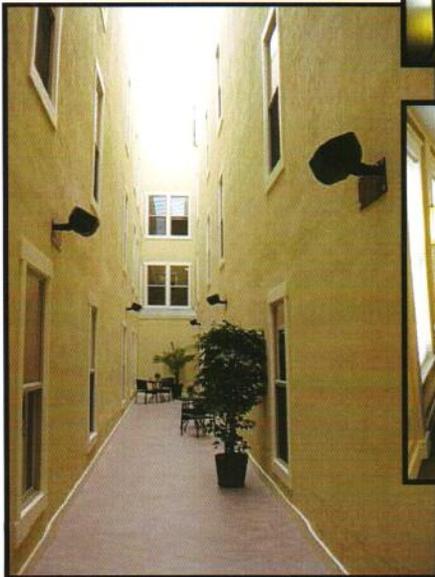
RESIDENTIAL FLOOR PLAN



This project included a complete interior demolition of non-historic remodels of past years as well as work to restore the facade to its original appearance. The work also included the demolition of most of the upper floors with reconfiguration to provide new, low to moderate housing units, with the main level serving as retail/commercial space. The old elevator was removed and reconfigured to accommodate an elevator that would meet current standards.

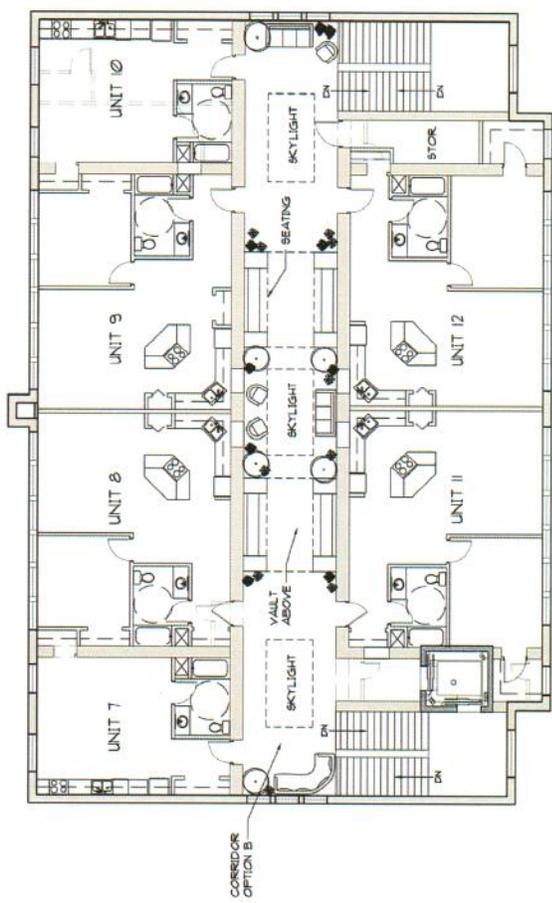


This project involved numerous funding sources and is a tax act renovation project. This project required that the renovation be done in continuity with the Secretary of Interior Standards with the building as it was originally built and the historic district in which it stands.

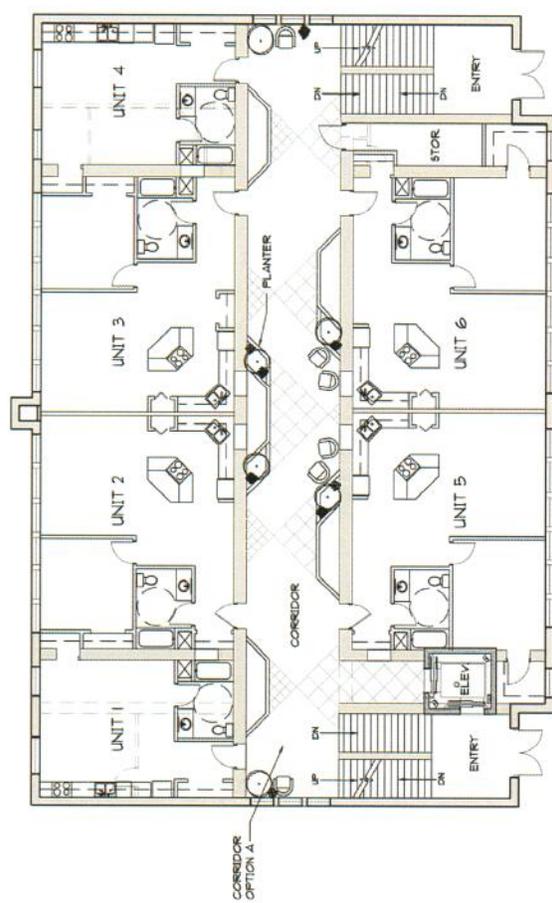


The work also included a structural assessment and stabilization as well as complete redevelopment to meet current codes and standards.

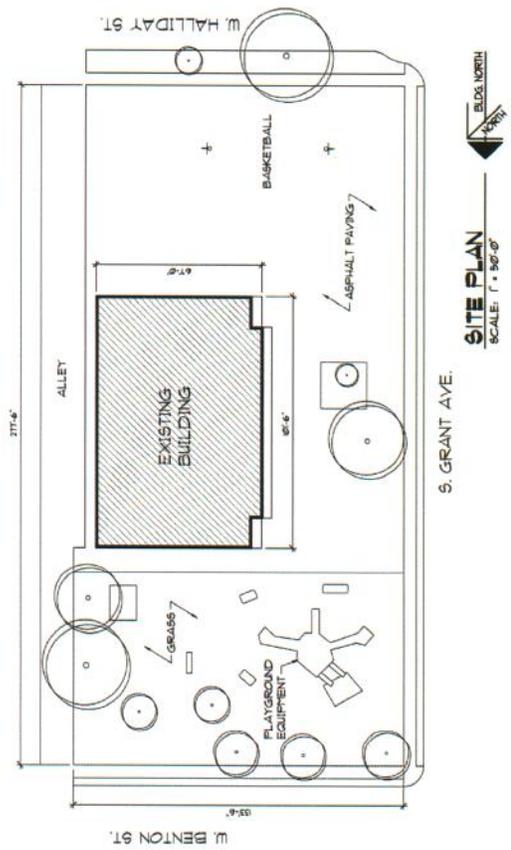
The Whitman accepted its first tenants April 1, 2009.



**UPPER LEVEL PLAN**  
SCALE: 1/8" = 1'-0"



**MAIN LEVEL PLAN**  
SCALE: 1/8" = 1'-0"

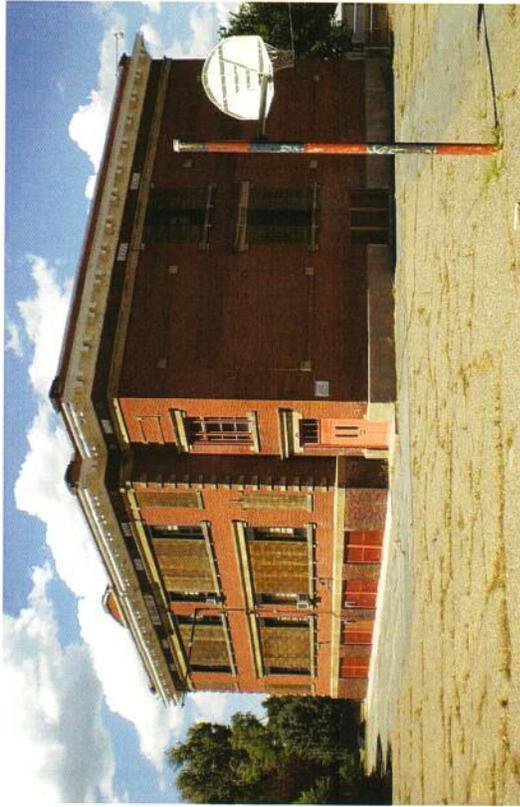


**SITE PLAN**  
SCALE: 1" = 50'-0"  
BLDG NORTH

OVERALL GROSS SF.		HOUSING UNITS	
		UNIT TYPE	#
BASEMENT	6,746 SF.	BEDROOM	8
MAIN LEVEL	6,680 SF.	STUDIO	4
UPPER LEVEL	6,680 SF.	TOTAL	12
TOTAL	20,106 SF.		
SITE AREA	35,700 SF.		

# EMERSON HOUSING DEVELOPMENT

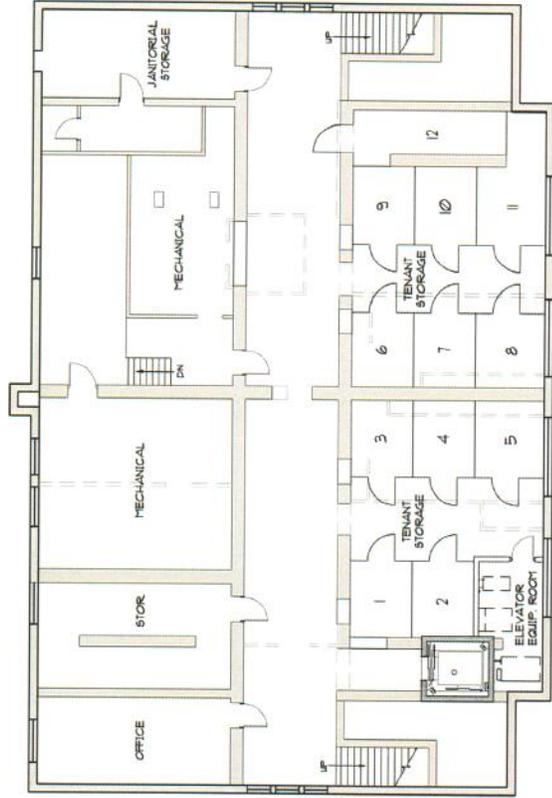
The Housing Company    Myers    Anderson



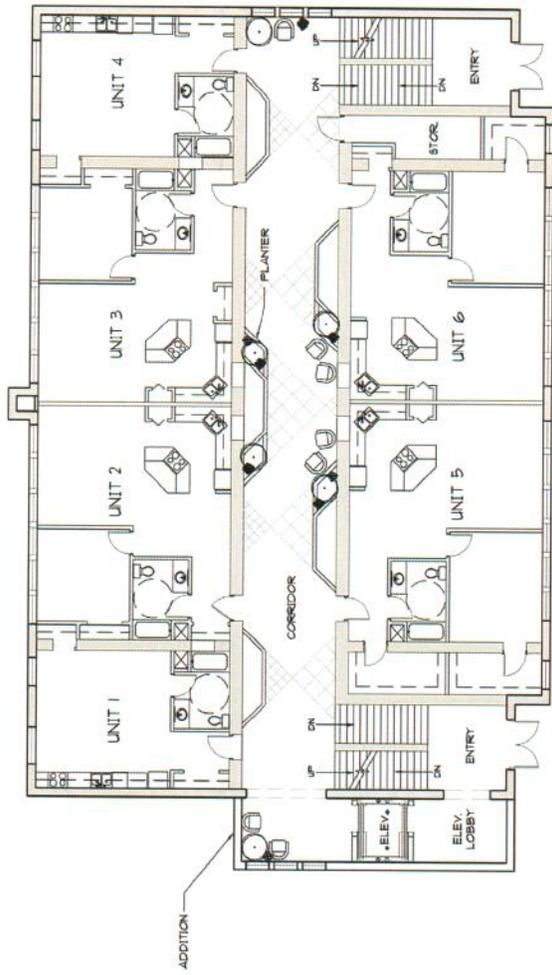
# EMERSON HOUSING DEVELOPMENT



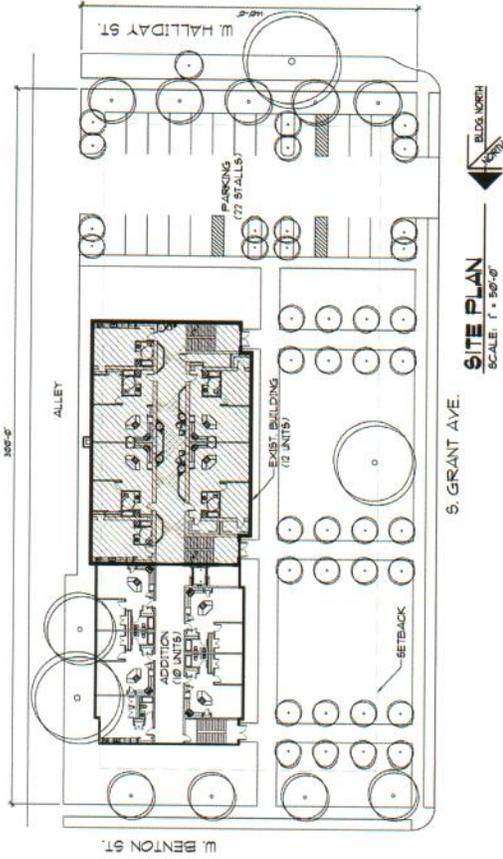
Myers ■ Anderson



**BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"



**1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



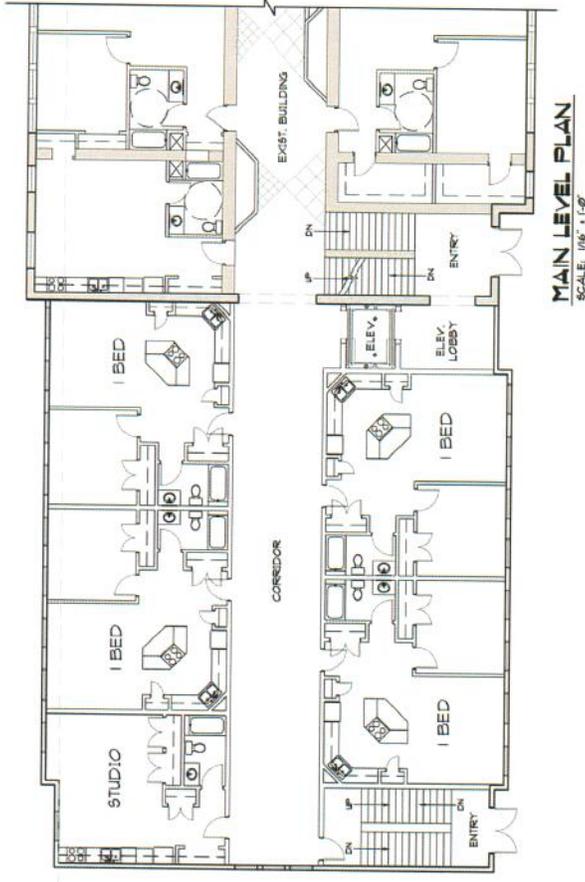
BLK NORTH  
BLK SOUTH

**NOTE**  
SITE IS ZONED R1M (RES. MEDIUM DENSITY) WITH A MAXIMUM OF 12 UNITS PER ACRE (SITE IS IIA). ANY ADDITION WILL REQUIRE A CONDITIONAL USE PERMIT

UNITS IN ADDITION		TOTAL UNITS	
UNIT TYPE	#	UNIT TYPE	#
1 BEDROOM	8	1 BEDROOM	16
STUDIO	2	STUDIO	6
TOTAL	10	TOTAL	22

**BUDGET ESTIMATE**

AREA	1/SF.	COST
EXIST. BUILDING	13,360 SF.	1,269,200
BASEMENT	6,746 SF.	1,337,300
ADDITION	9,260 SF.	1,389,000
BASEMENT	4,630 SF.	1,347,250
SITE	30,650 SF.	153,450
CONTINGENCY	10%	134,962.0
TOTAL		13,845,820

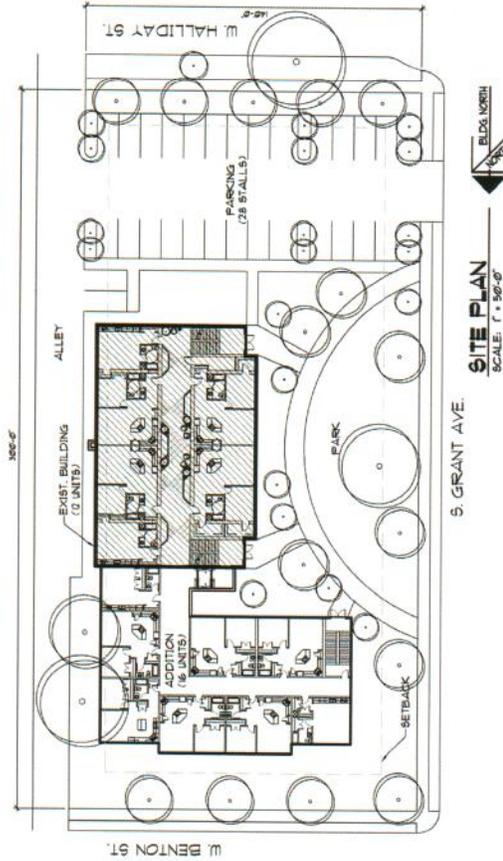


# EMERSON

## HOUSING DEVELOPMENT

The Housing Company  
Myers ■ Anderson

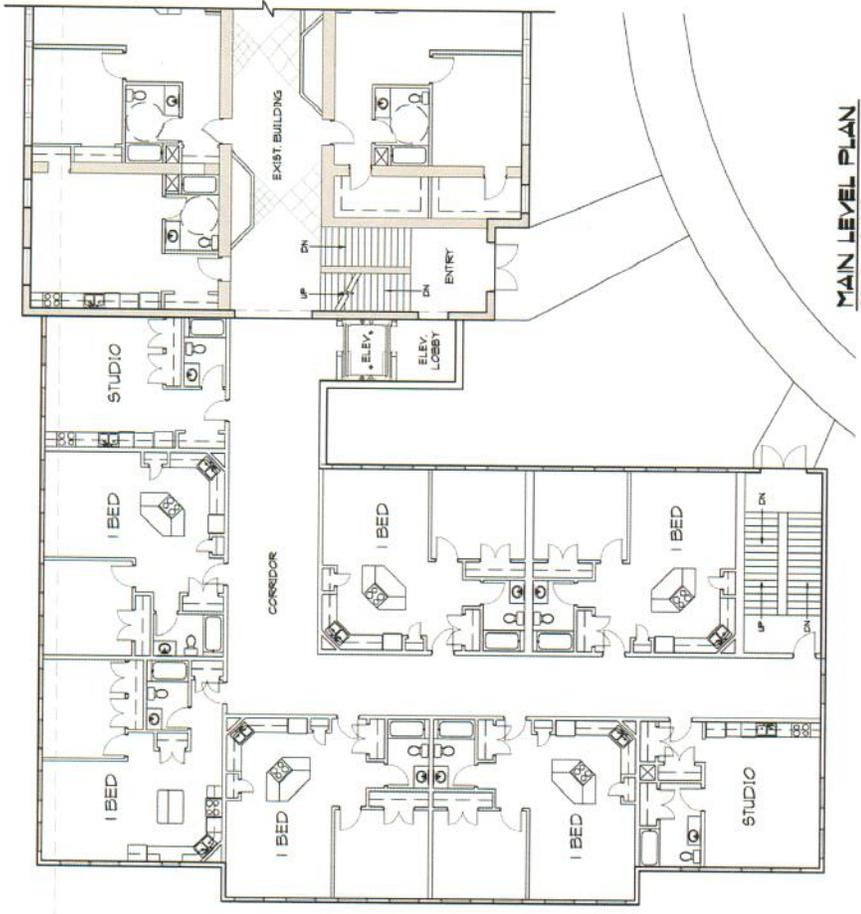
### ADDITION OPTION 1



UNITS IN ADDITION		TOTAL UNITS	
UNIT TYPE	#	UNIT TYPE	#
1 BEDROOM	12	1 BEDROOM	20
STUDIO	4	STUDIO	2
TOTAL	16	TOTAL	28

**NOTE**  
SITE IS ZONED RYM (RES. MEDIUM DENSITY) WITH A MAXIMUM OF 12 UNITS PER ACRE (SITE IS UIA). ANY ADDITION WILL REQUIRE A CONDITIONAL USE PERMIT

BUDGET ESTIMATE		
AREA	\$/SF.	COST
EXIST. BUILDING	13,360 SF.	\$1,269,200
BASEMENT	6,746 SF.	\$337,300
ADDITION	13,634 SF.	\$1,204,500
BASEMENT	6,817 SF.	\$111,275
SITE	28,503 SF.	\$142,515
CONTINGENCY	10%	\$142,515
TOTAL		\$4,735,930



The Housing Company  
Myers ■ Anderson  
**ADDITION OPTION 2**

## ■ Eagles Building

Pocatello Neighborhood Housing Services  
Pocatello, Idaho



The Eagles Building project involved the transformation of an old abandoned building, which had been slated for demolition, into a vibrant contributing building in the Downtown Historic District. The renovated building provides commercial space on the main level with 5 single bedroom apartments on the upper level.

This project, developed by a non-profit entity, Pocatello Neighborhood Housing Services, involved 27 different funding sources and Low Income Housing and Historic Rehabilitation Tax credits. Along with the Historic Tax Credits came the requirement for the building to be rehabilitated in accordance with the Secretary of Interior Standards.

The work included a complete exterior cleaning and re-pointing, new roof, new and restored entrances and windows, and repair of the sheet metal cornice. The interior was completely demolished and reconstructed for the new uses. The original wood floors, trims, and details were maintained for a great blend of new contemporary design with the original Historic Characteristics of the building.

- Tenant Space Commercial/ Retail
- Sweetwater County Community Health Center Pharmacy
- Storage
- Restrooms
- Elevator

- (1) A-2 RESTAURANT
- (1) M-SALES ROOM

**CODE REQUIREMENTS:**

1. MIN. OF 2 EXITS REQUIRED PER FLOOR INCLUDING BASEMENT AREA.
2. 1 TOILET REQUIRED PER 25 OCCUPANTS IN B OCCUPANCIES.
3. EXITS MUST BE SEPARATED BY 47' 10" THE DIAGONAL DISTANCE.
4. 7/4" FIN EGRESS ON EXITS REQUIRED.
5. FIN/FIT ONE EGRESS STAIR MUST BE ENCLOSED WITH A TWO HOUR FIRE RATING (SEE FOLLOWING REQUIREMENT #4).
6. BUILDING TO BE SPRINKLED TO ALLOW FOR ONE EXISTING SPRINKLER SYSTEM (SEE FOLLOWING REQUIREMENT #3) AND TO ALLOW FOR EXISTING SPRINKLER SYSTEMS TO REMAIN.
7. TOTAL OCCUPANT LOAD OF 304 FOR MAIN LEVEL.
8. TOTAL OCCUPANT LOAD OF 88 FOR SECOND LEVEL.
9. TOTAL OCCUPANT LOAD OF 51 FOR THIRD LEVEL.
10. TOTAL OCCUPANT LOAD OF 19 FOR BASEMENT LEVEL.
11. CORRIDOR FIRE-RESISTANCE RATING AND INCIDENTAL USE SEPARATION NOT REQUIRED WITH APPROVED SPRINKLER SYSTEM.

DISTANCE TO EXIT  
 MINIMUM TRAVEL DISTANCE  
 FROM ANY POINT IN ROOM  
 TO EXIT SHALL BE LESS  
 THAN ALLOWABLE 200' (7')



- (2) M-SALES ROOM

**CODE REQUIREMENTS:**

1. MIN. OF 2 EXITS REQUIRED PER FLOOR INCLUDING BASEMENT AREA.
2. 1 TOILET REQUIRED PER 25 OCCUPANTS IN B OCCUPANCIES.
3. EXITS MUST BE SEPARATED BY 47' 10" THE DIAGONAL DISTANCE.
4. 3/4" FIN EGRESS ON EXITS REQUIRED.
5. FIN/FIT ONE EGRESS STAIR MUST BE ENCLOSED WITH A TWO HOUR FIRE RATING (SEE FOLLOWING REQUIREMENT #4).
6. BUILDING TO BE SPRINKLED TO ALLOW FOR ONE EXISTING SPRINKLER SYSTEM (SEE FOLLOWING REQUIREMENT #3) AND TO ALLOW FOR EXISTING SPRINKLER SYSTEMS TO REMAIN.
7. TOTAL OCCUPANT LOAD OF 89 FOR MAIN LEVEL.
8. TOTAL OCCUPANT LOAD OF 88 FOR SECOND LEVEL.
9. TOTAL OCCUPANT LOAD OF 51 FOR THIRD LEVEL.
10. TOTAL OCCUPANT LOAD OF 19 FOR BASEMENT LEVEL.
11. CORRIDOR FIRE-RESISTANCE RATING AND INCIDENTAL USE SEPARATION NOT REQUIRED WITH APPROVED SPRINKLER SYSTEM.

DISTANCE TO EXIT  
 MINIMUM TRAVEL DISTANCE  
 FROM ANY POINT IN ROOM  
 TO GROUND FLOOR EXIT SHALL  
 BE LESS THAN ALLOWABLE 200' (7')



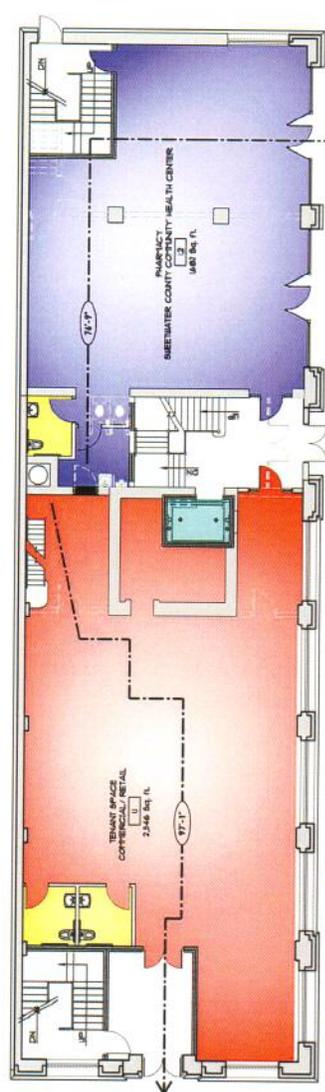
**LEGEND**

	ORIGINAL MAJORWAY WALL
	EXISTING WALL TO REMAIN
	NEW 5/8" WALLS
	DEFO
	2 HR. SLUFT WALL

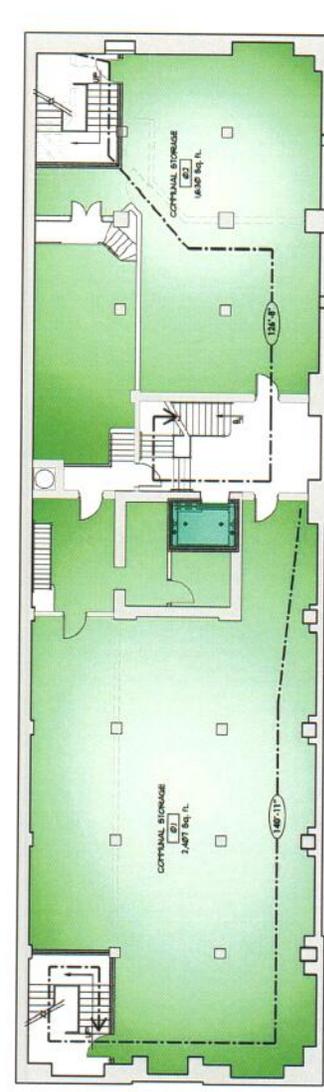
**CODE REVIEW:**

CODE	2006 IBC
OCCUPANCY CLASSIFICATION	M, B, S-1
TYPE OF CONSTRUCTION	II-B
FIRE SUPPRESSION SYSTEM	YES
EMERGENCY EXIT LIGHTED	YES
OCCUPANCY SEPARATION	NO
VARIABLE HEIGHT	THREE
NUMBER OF STORES	THREE
BUILDING HEIGHT	35'-0"
BASEMENT AREA	5-16,405 SF
FIRST LEVEL AREA	5-16,405 SF
SECOND LEVEL AREA	5-16,405 SF
THIRD LEVEL AREA	5-16,405 SF
FOURTH LEVEL AREA	5-16,405 SF
NO. OF INCREASE	23 IN. x 18.75 IN.
NO. OF INCREASE	0
STAIRWAY SUPPRESSION SYSTEM	0
TOTAL AREA	66,631 SF

Myers ■ Anderson  
 Mechanical  
 Electrical  
 Plumbing  
 Fire Protection  
 1000 W. 10th St., Suite 100 • Hudson, Wyoming 82401 • (307) 739-0900



**MAIN LEVEL FLOOR PLAN**  
 SCALE 1/8"=1'-0"



**BASEMENT LEVEL FLOOR PLAN**  
 SCALE 1/8"=1'-0"

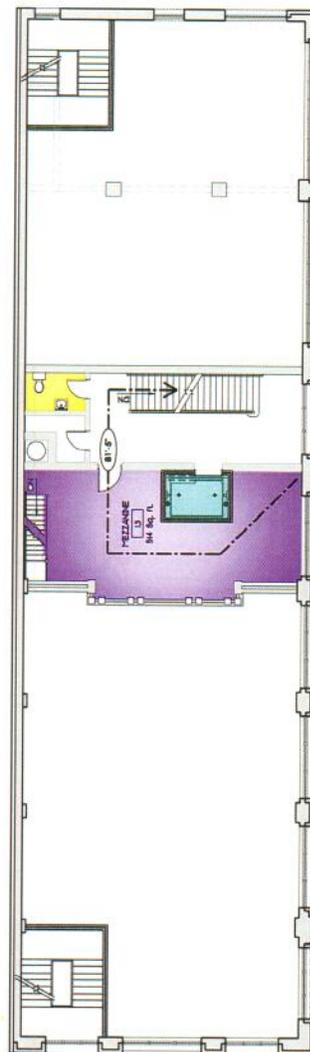
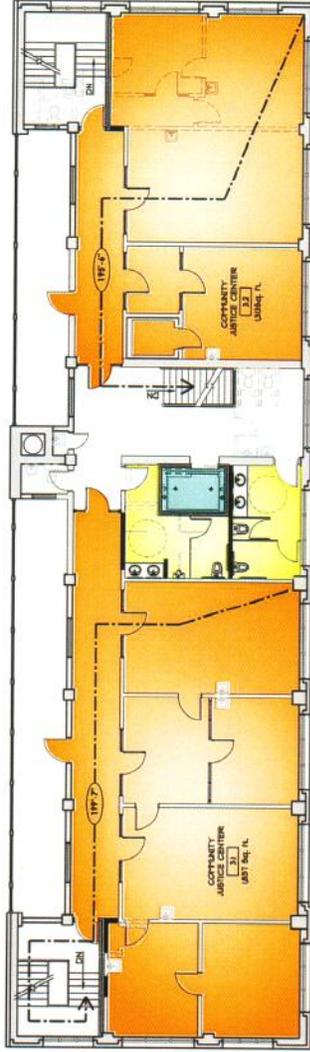
PROJECT: FIRST SECURITY BANK BUILDING  
 ROCKSPRINGS, WYOMING

SHEET TITLE: MAIN & BASEMENT LEVEL FLOOR PLANS TENANT OCCUPANCY

CONTRACTOR: JAMES HARRIS  
 ALL DIMENSIONS LOCATIONS AND FINISHES TO BE SHOWN ON THIS DRAWING SHALL BE TO THE CENTER UNLESS OTHERWISE NOTED  
 DATE: 12/15/11  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 PROJECT NUMBER: 10544  
 PROJECT DATE: DEC 15, 2011  
 SHEET NUMBER: A101 OF 10000

REVIEW SET

- Community Justice Center
- Tenant Office Space
- Sweetwater County Community Health Center Offices
- Restrooms
- Mezzanine
- Elevator



**FIRE SEPARATION**

1. 0 HR FIRE SEPARATION BETWEEN OCCUPANCY 1 & 2 OCCUPANCY
2. 1 HR FIRE SEPARATION BETWEEN OCCUPANCY 1 & 3 OCCUPANCY
3. 2 HR FIRE SEPARATION BETWEEN 3 & 1 OCCUPANCY & 3 OCCUPANCY

**LEGEND**

- ORIGINAL MASONRY WALL
- EXISTING WALL TO REMAIN
- NEW STUD WALLS
- DEPTO
- 2 HR RAFT WALL

MYERS ANDERSON ARCHITECTURE  
 ARCHITECTURE  
 INTERIOR DESIGN  
 LANDSCAPE ARCHITECTURE  
 121 NORTH SHAW BLVD. • LONDON, WYOMING 82430 • TEL: (307) 333-3211 • FAX: (307) 333-3212  
 807 WEST SHAW BLVD. • LONDON, WYOMING 82430 • TEL: (307) 333-3211 • FAX: (307) 333-3212

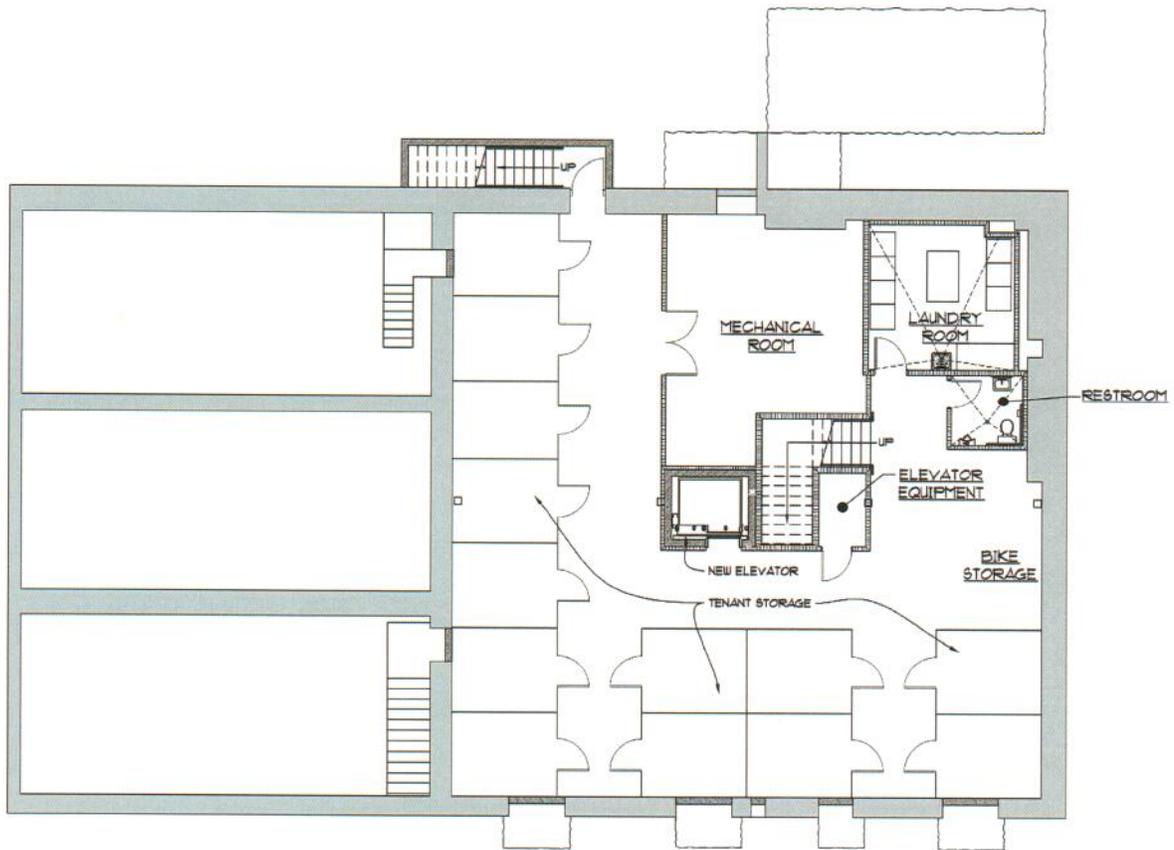
**REVIEW SET**

PROJECT: FIRST SECURITY BANK BUILDING  
 ROCKSPRINGS, WYOMING  
 SHEET TITLE: UPPER LEVEL FLOOR PLANS  
 TENANT OCCUPANCY

CHECKED: J. JENSEN  
 NUMBER: 05146  
 PROJECT: DEC 2006  
 DRAWING SCALE: 1/8" = 1'-0"  
 DATE: 12/14/06  
 DRAWN: KOKK  
 PROJECT: DEC 2006  
 SHEET: A102 OF XXXX



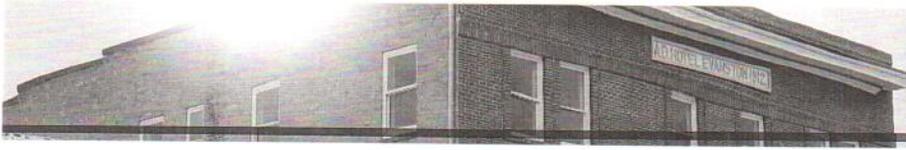
# Hotel Evanston Building Assessment



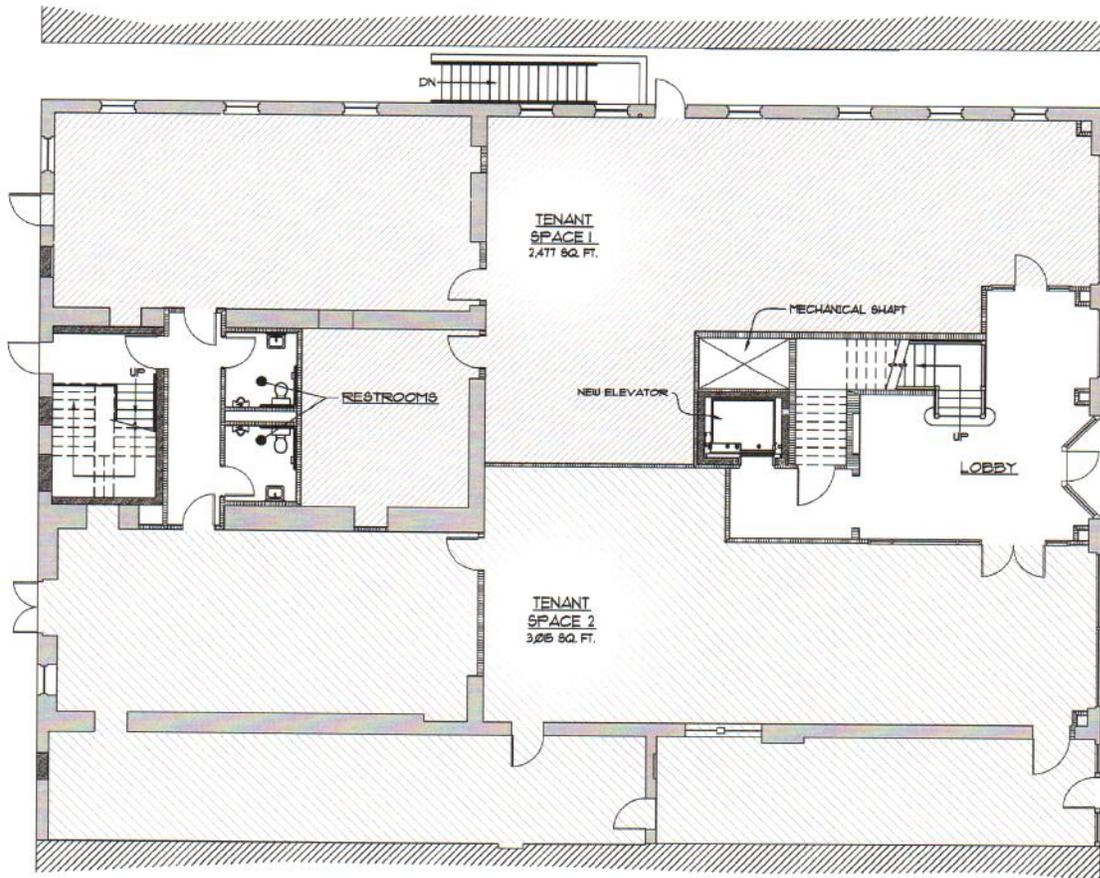
## PROPOSED BASEMENT PLAN

SCALE: 1/8" = 1'-0"





# Hotel Evanston Building Assessment

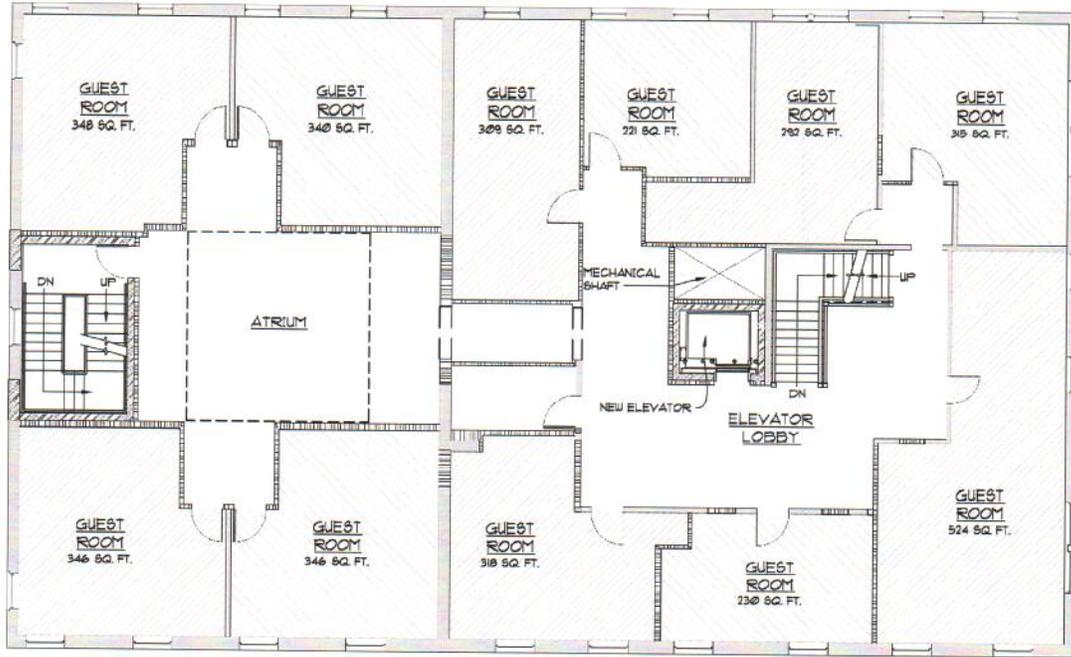


**PROPOSED MAIN LEVEL PLAN**  
SCALE: 1/8" = 1'-0"

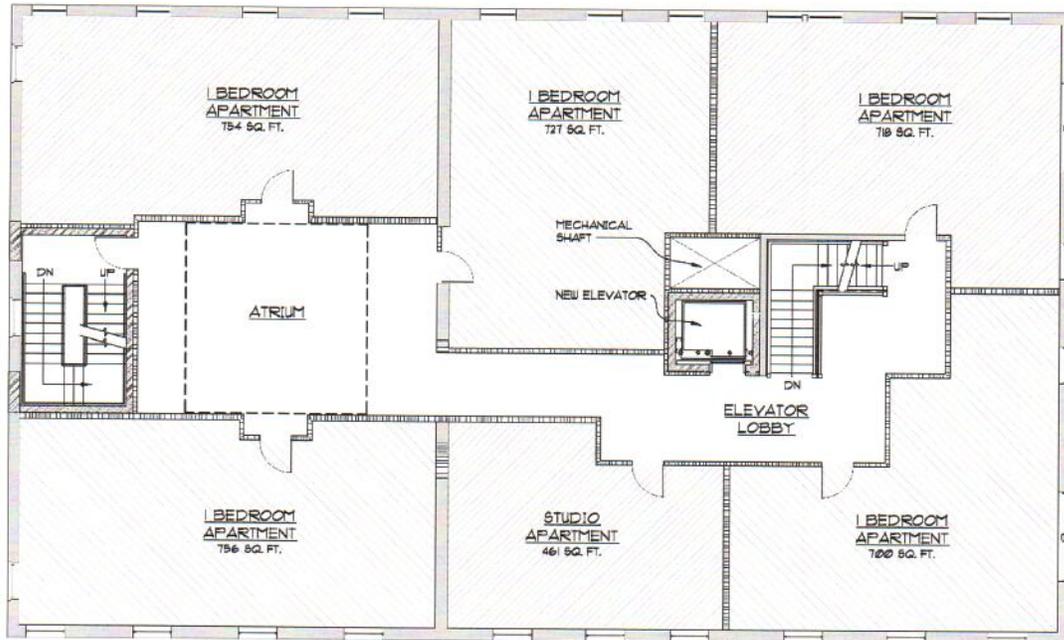




Hotel Evanston  
Building Assessment

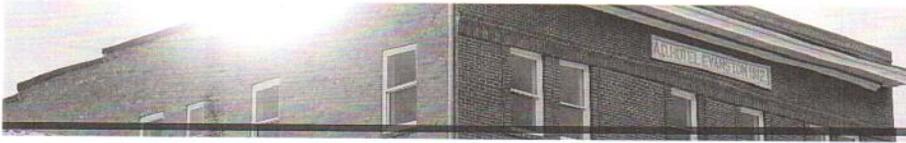


**PROPOSED SECOND LEVEL PLAN-HOTEL**  
SCALE: 1/8" = 1'-0"

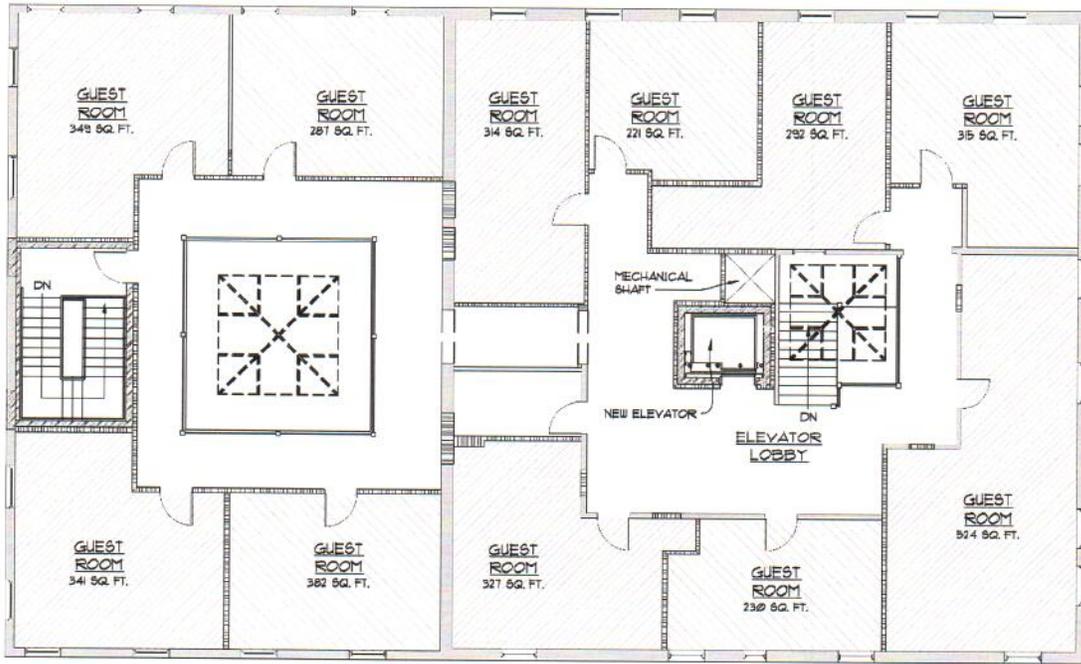


**PROPOSED SECOND LEVEL PLAN-APARTMENTS**  
SCALE: 1/8" = 1'-0"



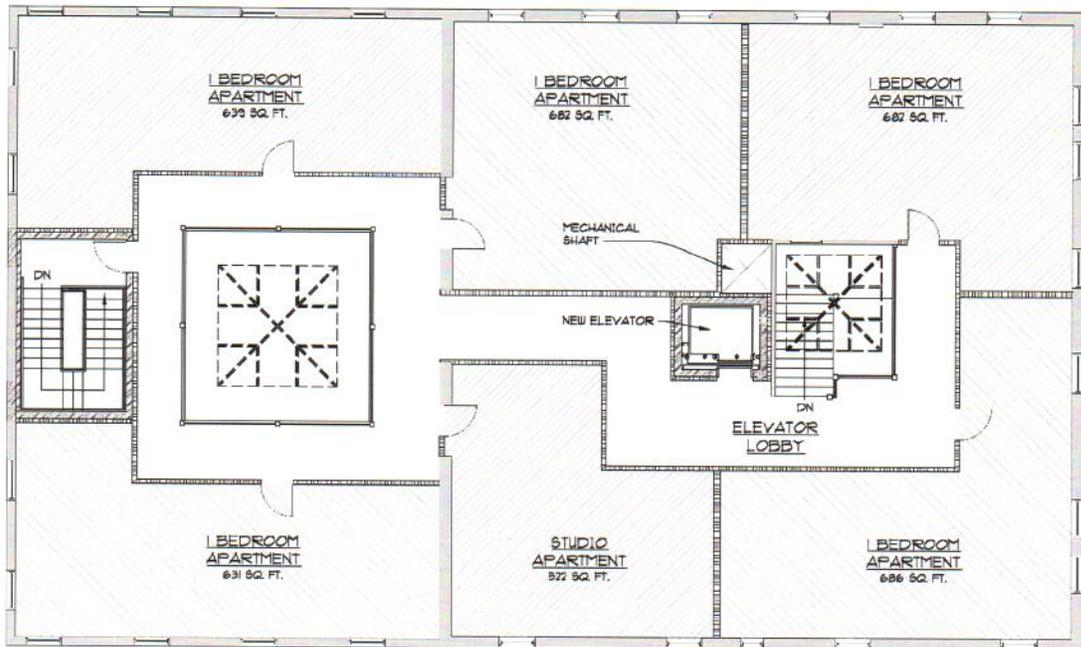


Hotel Evanston  
Building Assessment



**PROPOSED THIRD LEVEL PLAN-HOTEL**

SCALE: 1/8" = 1'-0"



**PROPOSED THIRD LEVEL PLAN-APARTMENTS**

SCALE: 1/8" = 1'-0"



CODE REQUIREMENTS:		CODE REVIEW:		LEGEND	
1. TOP OF 2 EXITS REQUIRED PER FLOOR, INCLUDING BASEMENT AREA.	1. 100% IBC	CODE	1. B, 9.7	ORIGINAL THICKET WALL	1. NETAL SPACE ONE - 44 OCCUPANTS AND BASEMENT STORAGE
2. 1 TOILET REQUIRED PER 25 OCCUPANTS IN B OCCUPANCIES.	II-B	OCCUPANCY CLASSIFICATION	II-B	STUD WALL TO REPAIR	2. OFFICE SPACE AND MAIN BUILDING ACCESS
3. EXITS MUST BE SEPARATED BY 16' 10" THE DIAGONAL DISTANCE.	YES	TITLE OF CONSTRUCTION	YES	NEW STUD WALLS	3. NO THICKET STORAGE
4. 5.7" MIN. EGRESS ON EXITS REQUIRED.	1-HOUR	FIRE SUPPRESSION SYSTEM	YES	DEPO	4. NETAL SPACE THREE - 75 OCCUPANTS AND BASEMENT STORAGE
5. POINT-ONE EGRESS STAIR MUST BE ENCLOSED WITH A 100 HOUR FIRE RATING (SEE FOLLOWING REQUIREMENT 6).	NO	OCCUPANCY SEPARATION	NO	1-HR. SHIRT WALL	5. NETAL SPACE FOUR - 75 OCCUPANTS WITH HAZARDOUS AND BASEMENT STORAGE
6. STAIRS TO BE SEPARATED TO ALLOW FOR ONE EXIST EXTERIOR AND TO ALLOW FOR EXISTING OPENING IN EXTERIOR WALL TO REPAIR.	THREE	NUMBER OF STORIES	THREE		6. NETAL SPACE FIVE - 4 OCCUPANTS AND BASEMENT STORAGE
7. TOTAL OCCUPANT LOAD OF 373 FOR MAIN LEVEL.	ACTUAL	BUILDING HEIGHT	ALLOWABLE 100'-0"		
8. TOTAL OCCUPANT LOAD OF 48 FOR SECOND LEVEL.	830 SF PER F.L.R.	BUILDING AREA	1000 SF PER F.L.R.		
9. TOTAL OCCUPANT LOAD OF 48 FOR THIRD LEVEL.	333A + 819 SF	NO. FT. INCREASE FOR SEPARATION (3 ELEV.)	333A + 819 SF		
10. ALL ACCESSIBLE ROUTE TO REQUIRED EGRESS EXITS WILL BE REQUIRED IN THE MAIN LEVEL BASEMENT.	0	TYPE OF SUPPRESSION SYSTEM	0		
11. CONDUITS FOR FIRE RESISTANCE RATING AND INCIDENTAL USE REPAIRATION NOT REQUIRED WITH APPROVED DISTANCE TO EXIST WALLS AND CEILING.	2143 SF	TOTAL AREA	1000 SF		

1. TOP OF 2 EXITS REQUIRED PER FLOOR, INCLUDING BASEMENT AREA.  
 2. 1 TOILET REQUIRED PER 25 OCCUPANTS IN B OCCUPANCIES.  
 3. EXITS MUST BE SEPARATED BY 16' 10" THE DIAGONAL DISTANCE.  
 4. 5.7" MIN. EGRESS ON EXITS REQUIRED.  
 5. POINT-ONE EGRESS STAIR MUST BE ENCLOSED WITH A 100 HOUR FIRE RATING (SEE FOLLOWING REQUIREMENT 6).  
 6. STAIRS TO BE SEPARATED TO ALLOW FOR ONE EXIST EXTERIOR AND TO ALLOW FOR EXISTING OPENING IN EXTERIOR WALL TO REPAIR.  
 7. TOTAL OCCUPANT LOAD OF 373 FOR MAIN LEVEL.  
 8. TOTAL OCCUPANT LOAD OF 48 FOR SECOND LEVEL.  
 9. TOTAL OCCUPANT LOAD OF 48 FOR THIRD LEVEL.  
 10. ALL ACCESSIBLE ROUTE TO REQUIRED EGRESS EXITS WILL BE REQUIRED IN THE MAIN LEVEL BASEMENT.  
 11. CONDUITS FOR FIRE RESISTANCE RATING AND INCIDENTAL USE REPAIRATION NOT REQUIRED WITH APPROVED DISTANCE TO EXIST WALLS AND CEILING.

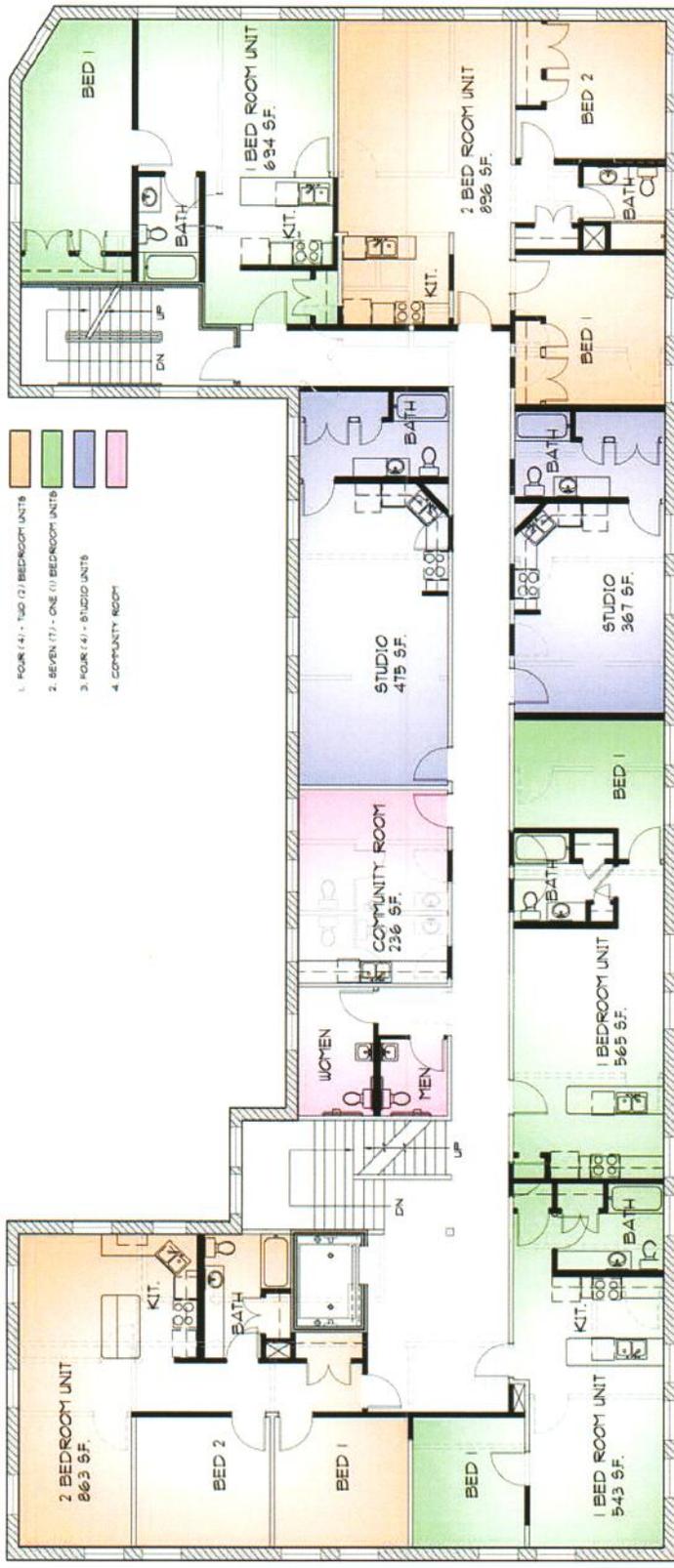


**BASEMENT LEVEL FLOOR PLAN**  
 NOT TO SCALE



**LEGEND**

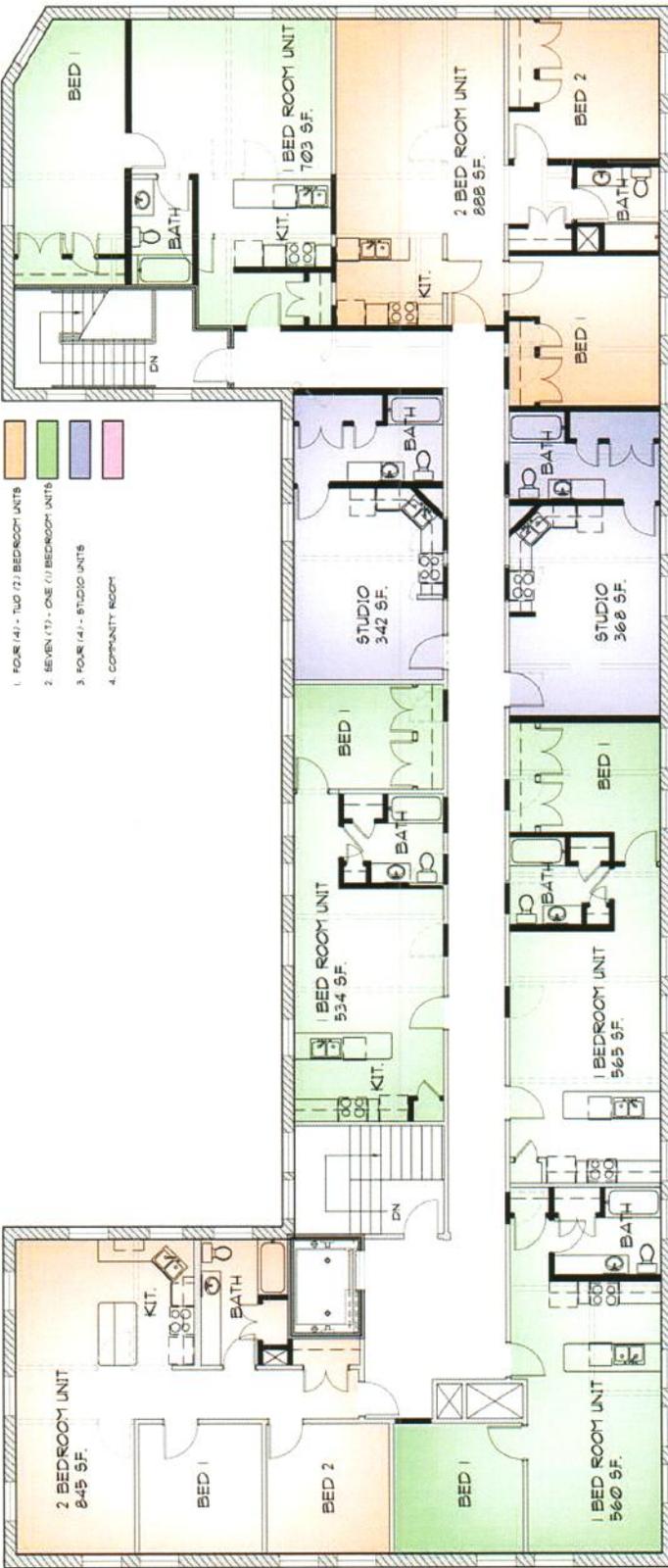
- ORIGINAL TRIMMERT WALL
- STUD WALL TO REPAIR
- NEW STUD WALLS
- DEMO
- 1/2" HEAVY WALL



SECOND LEVEL FLOOR PLAN RESIDENTIAL  
 NOT TO SCALE

**LEGEND**

- ORIGINAL MASONRY WALL
- STUD WALL TO REMAIN
- NEW STUD WALLS
- DEMO
- 1/2 HR. SHIELD WALL

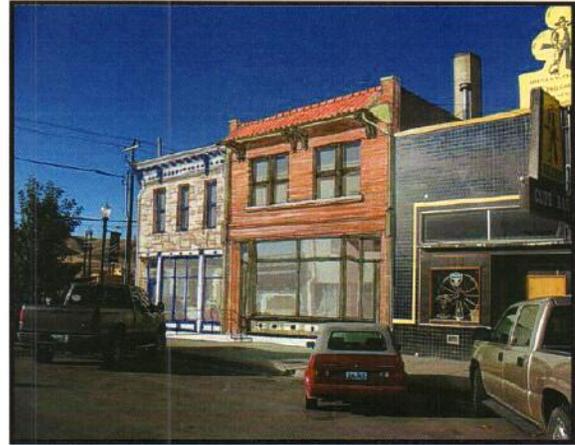
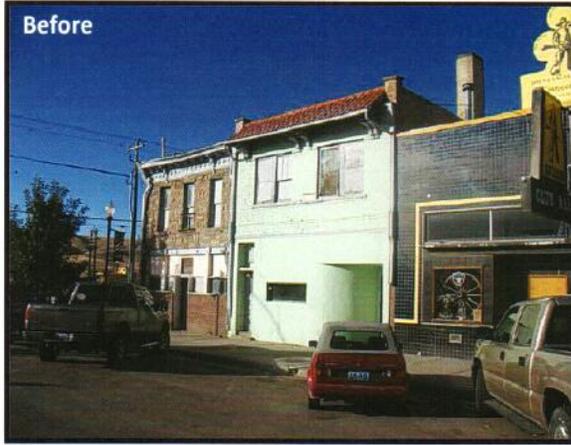


- 1. FOUR (4) - TWO (2) BEDROOM UNITS
- 2. SEVEN (7) - ONE (1) BEDROOM UNITS
- 3. FOUR (4) - STUDIO UNITS
- 4. COMMUNITY ROOM

THIRD LEVEL FLOOR PLAN RESIDENTIAL  
 NOT TO SCALE

## ■ Rainbow Teton Entrepreneur Center

Rawlins, Wyoming

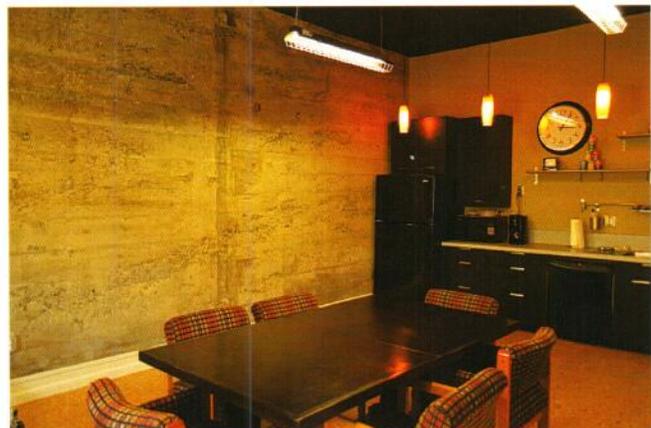


The 12,455 square foot Rainbow Te-ton Entrepreneur Center in Rawlins Wyoming is located in two, two-story downtown historic buildings that were formerly two bars and an upper level hotel. The Entrepreneur Center has 4,203 square feet on the main level divided into two retail spaces and 4,203 square feet of office space on the second level. The Basement contains 4,409 square feet of storage and mechanical space. The second level office space is used as a business incubator and is owned by The Rawlins Downtown Development Authority (DDA)/ Main Street and the City of Rawlins. The project was completed as a design build project for \$1.63 million dollars.

Work included interior demolition of existing walls, ceilings, mechanical and electrical systems and the installation of a new elevator, a new exit stair tower at the rear of the building, installation of new mechanical and electrical systems and new finishes and the structural stabilization to meet current codes. Though most of the upper level spaces were reconfigured to accommodate the new office lay out, many of the upper level walls in the north side of the building were maintained including the original windows, doors and trim. New doors, window and trim were installed to match the existing. Work also included restoration of the stone and cast iron south side of the east facade and the restoration and rebuilding of the north side east facade. Though not required, this project was completed using the National Park Service's, Secretary of the Interior's Standards for Rehabilitation.

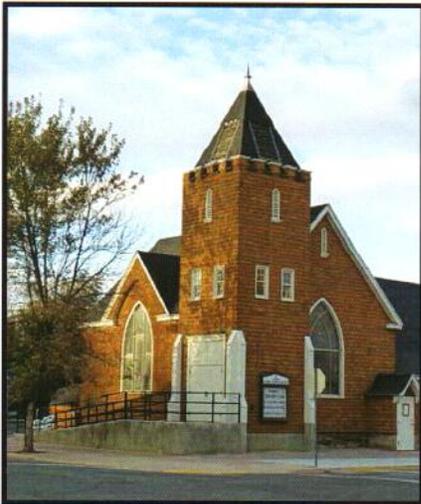
## MCS Advertising Remodel

Bateman-Hall was selected to remodel the MCS Advertising Agency new downtown Idaho Falls office. The before picture shows the extensive exterior work that was provided. The owner wanted to bring it back to its original beauty. The interior was almost completely removed which exposed high ceilings, giving the office an open feeling. Original windows from the early 1900's were left to keep the historic value of the property.



## ■ Various Building Assessments

Wyoming Business Council/Wyoming Main Street/Alliance for Historic Wyoming

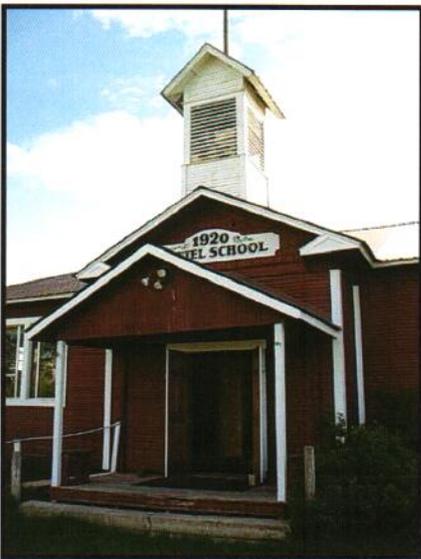


**Union Presbyterian Church, Evanston**  
Structural Assessment

Myers Anderson Architects has had the privilege of working with the Wyoming Business Council and Wyoming Main Street on numerous technical assistance projects since 2009. We have completed nearly 30 projects through this important program. The following is a small sampling of those projects.



**200 S. 2<sup>nd</sup> Storefront, Laramie**  
Facade Assessment



**Daniel School Building, Daniel**  
Building Assessment



**Lincoln Community Center, Laramie**  
Building Assessment



**"Old Jail" Building, Kemmerer**  
Building Assessment



**JC Penney "2<sup>nd</sup> Location" Building, Kemmerer**  
Building Assessment

**TAB D. Team Member Contact List**

## The Bonneville Hotel Team Contact Information

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